

# Cabrillo Unified School District Workforce Housing Project

## *Project Update*

### Agenda

- Project Timeline
- Project Design Presented During Outreach
- Community Feedback
- Updated Project Design
- Next Steps

March 14, 2024

# Planning for the Future

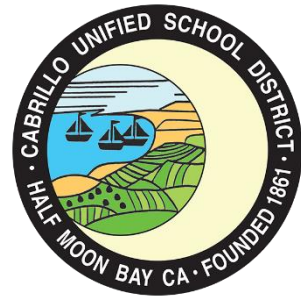
## Preliminary Plans for Educator Workforce Housing

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- Skyrocketing housing costs are challenging public school districts being able to recruit and retain highly qualified employees.
- Like other school districts in the Bay Area and well beyond, CUSD is exploring opportunities to develop “below market rate” housing for our staff who need it.
- This work has already been done successfully in Jefferson Union High School District and is also now being pursued in Pacifica and numerous other districts in the region.
- Workforce housing efforts aim to complement and use different funding sources from other ongoing efforts to help districts increase employee salaries/wages.
- This work also fits in as a key component of the City’s overall housing strategy, and we have worked very closely with the City of Half Moon Bay on the planning of this work.

# Background: HMB LCP & Housing Element



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## Local Coastal Plan (Certified by Coastal Commission 2021)

- Workforce Housing Overlay anticipates 40 units of Educator Housing
- State Density Bonus applies; increases Educator Workforce Housing count to 60 units

## Half Moon Bay Housing Element (2023-2031 Cycle)

- CUSD workforce housing has been included in City's Housing Element
- State RHNA requires 480 new residential units city-wide over the next eight years
- 60 units of workforce housing is 12.5% of HMB's state-required housing

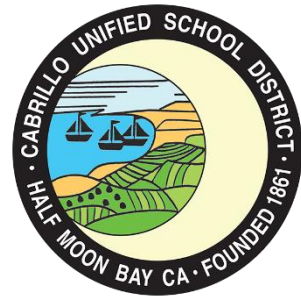
# Background: Project Timeline 2021-2024



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	2019 - 2020	2021		2022				2023				
		Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	
HMB LCP												
CUSD Considering Land Asset Utilization (2020-2021)												
Brookwood Engaged (RFP, Board Presentation)												
Portfolio Analysis: 9 District-Owned Sites												
Focus on El Granada Vacant Land & Kelly/Central Site												
Kelly/Central Site Analysis & Due Diligence												
City's Housing Element												
Prepare Workforce Housing Pre-Application												
Community Engagement												
Project Update In Response to Community Feedback												

# Background: Initial Employee Survey Results



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## Survey Quote #1:

"I think that staff housing is a huge need for our district. We live in one of the most expensive places in the country to live. **We all know the struggles our district currently has in retaining good quality new teachers.**"

## Survey Quote #2:

"I love my hometown and would love to continue to help out my community. **...staff would not feel forced out of their community they've known for so long.**"

## Survey Quote #3:

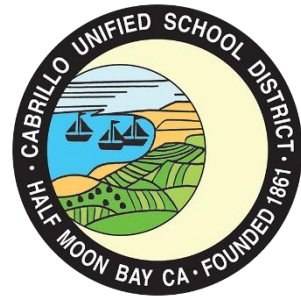
"I own my own home with an in law unit. **We would love to rent it out to teachers but they say that they can't afford it even when we lower the price.** Thus it's imperative that we provide housing for our school staff. We have lost so many great teachers and staff because of this problem."

## Survey Quote #4:

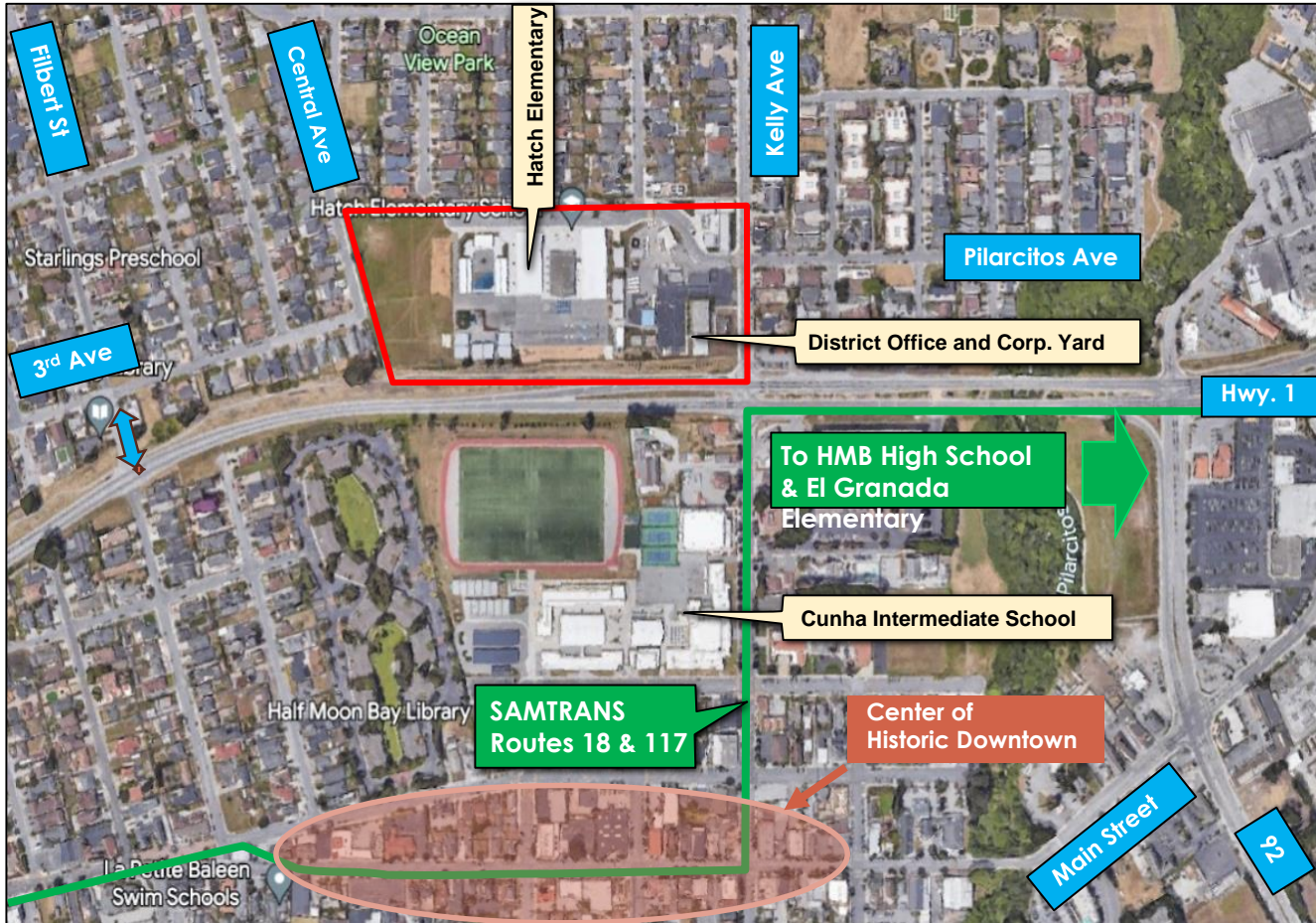
"**While I do not need housing right now... I am in full support for my fellow staff members who could benefit from this...**"

CUSD Employee Survey (May 2022)	
Maybe Interested	14
Likely Interested	34
Definitely Interested	35
<b>Total Interested</b>	<b>83</b>
Likely Not Interested	43
Total Survey Responses	126

# Site Context: Location



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- Proximity to Historic Downtown
- Walkable or Bikeable to ~75% of District Jobs
- Located on Primary North/South Bus route through HMB and the Coastside

# Site Context: Views



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*Views looking West from Site*



*Views looking North from Site*

# Initial Design

## Site Plan: Kelly Ave and Central Ave

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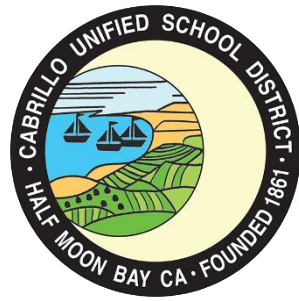
### 2023 Program

- Kelly Ave Site: 42 Units of Housing and Corp Yard Consolidation
- Central Ave Site: 18 Units of Housing, Educational Uses, and Open Green Space
- Student Drop-Off and Added Parking at Central Ave Site
- Through-traffic from Kelly to Central



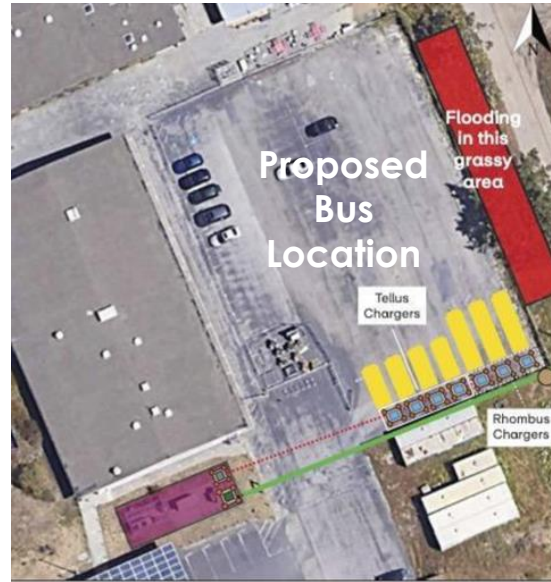


# Bus Electrification & Relocation



Potential for Buses Moving to HMB High School

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## Project Description

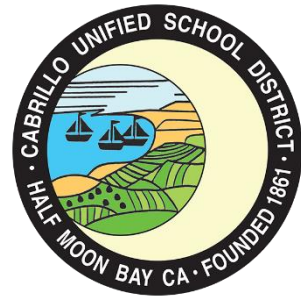
Highland to install 7 DCFC/Level 3 chargers at Cabrillo USD's Half Moon Bay High School for the deployment of 7 electric school buses. 3 chargers will be DCFC bidirectional/V2G/V2B capable and 4 chargers will be regular DCFC chargers.

New service will be necessary given the installation of bidirectional chargers. New infrastructure will likely be located near the existing solar infrastructure. New service will draw from the existing underground line to the south of the parking lot, noted on the diagram with the "utility manhole" circle.

# Initial Design

Housing Elevations: Kelly Ave

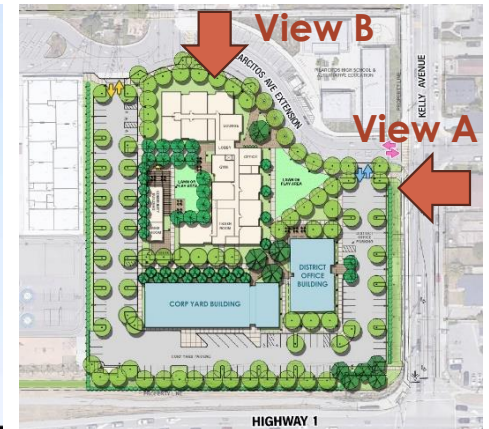
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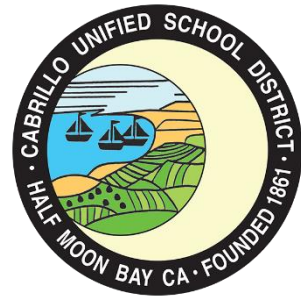
**View A:** View looking South from Kelly Ave



**View B:** View looking East from Pilarcitos Extension



# Community Engagement Timeline



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**Brews & Views**  
September 21, 2023  
Half Moon Bay Brewery  
Approximately 30 attendees

**Community Open Houses #3 & #4**  
Thursday October 5th 2023 6pm-9pm  
Cunha Library  
English & Spanish Sessions  
Approximately 30 attendees



**Community Open Houses #1 & #2**  
Saturday, Sept. 23rd, 2023  
10:30am-1:30pm  
Cunha Multipurpose Room  
English & Spanish Sessions  
Approximately 30 attendees

**HMB Architectural Advisory Committee**  
Thurs. October 12, 2023  
9am-12pm  
Approximately 15 attendees

# Community Feedback On Initial Design

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## Positive Feedback

1. Like project design
2. Strong need for more housing
3. Support for teachers & staff, want housing for them in HMB
4. Additional parking provided
5. Appreciate improvements to Hatch pick-up & drop-off and Kelly Ave traffic

## Opportunities & Suggested Improvements

1. Prefer Hatch Field focus on playing fields and school uses
2. Concerns about additional vehicle traffic on Central Ave
3. Concerns about pedestrian safety due to additional traffic on Third Ave

# Community Feedback

## Representative Comments

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### Meeting Comment Card #1:

*"Like other employees we need housing support. And for me it sounds like a great opportunity. Thank you so much for thinking about us and for your support."*

### Meeting Comment Card #2:

*"It's an amazing project giving back to the community and to our generation."*

### Meeting Comment Card #3:

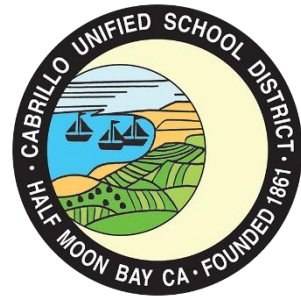
*"Please know we are for teacher housing. However, this project – especially the field housing – will create too much traffic on Third and Central making it dangerous for the children."*

### Meeting Comment Card #4:

*"Let's direct the funds to increase teacher pay instead. No low income housing. Pay teachers more so they can buy their own house."*



# Frequently Asked Questions



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## Why not just pay staff more so they can afford their own housing?

### **Funds used for housing are not available to be utilized for employee salaries**

State law is very strict and does not allow capital improvements money to be spent on salaries. The proposed approach is a unique and innovative opportunity to turn underutilized land into an asset for the employees of the district and to help folks who need more affordable housing. Many districts are currently working on building workforce housing as way to help employees.

## Who can live here and how much will rent be?

### **District employees with rents targeted significantly below market**

Eligibility will be focused exclusively on employees of CUSD. Rents have not been set, but JUHSD offered a 40-45% discount to market rents with one bedrooms starting at \$1300/month.

## How will the building be managed after it's built?

### **Just like a regular apartment building with a property management company**

A separate private property management company would handle day-to-day operations including repairs and maintenance. A separate nonprofit board made of community members and school board members would be formed and likely would meet every other month after the start of operations. This is typical for most workforce housing property management.

## How is construction paid for?

### **Through a combination of bonds and COPs (another name for loans)**

The project is expected to be revenue neutral to the District, meaning it will not require any money from the General Fund. After the loans are paid off, the housing can generate cash flow to the General Fund which could be used for employee salaries or other educational uses. Certificates of participation (AKA COPs) are the loans used for workforce housing construction.

# AAC Feedback On Initial Design

Architectural Advisory Committee

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## Positive Feedback & Comments

1. Like the Kelly Ave Housing Elevations and courtyard
2. Well-thought out Site Plan at Kelly Ave
3. AAC Members expressed support for the district's teachers & staff

## Opportunities & Suggested Improvements

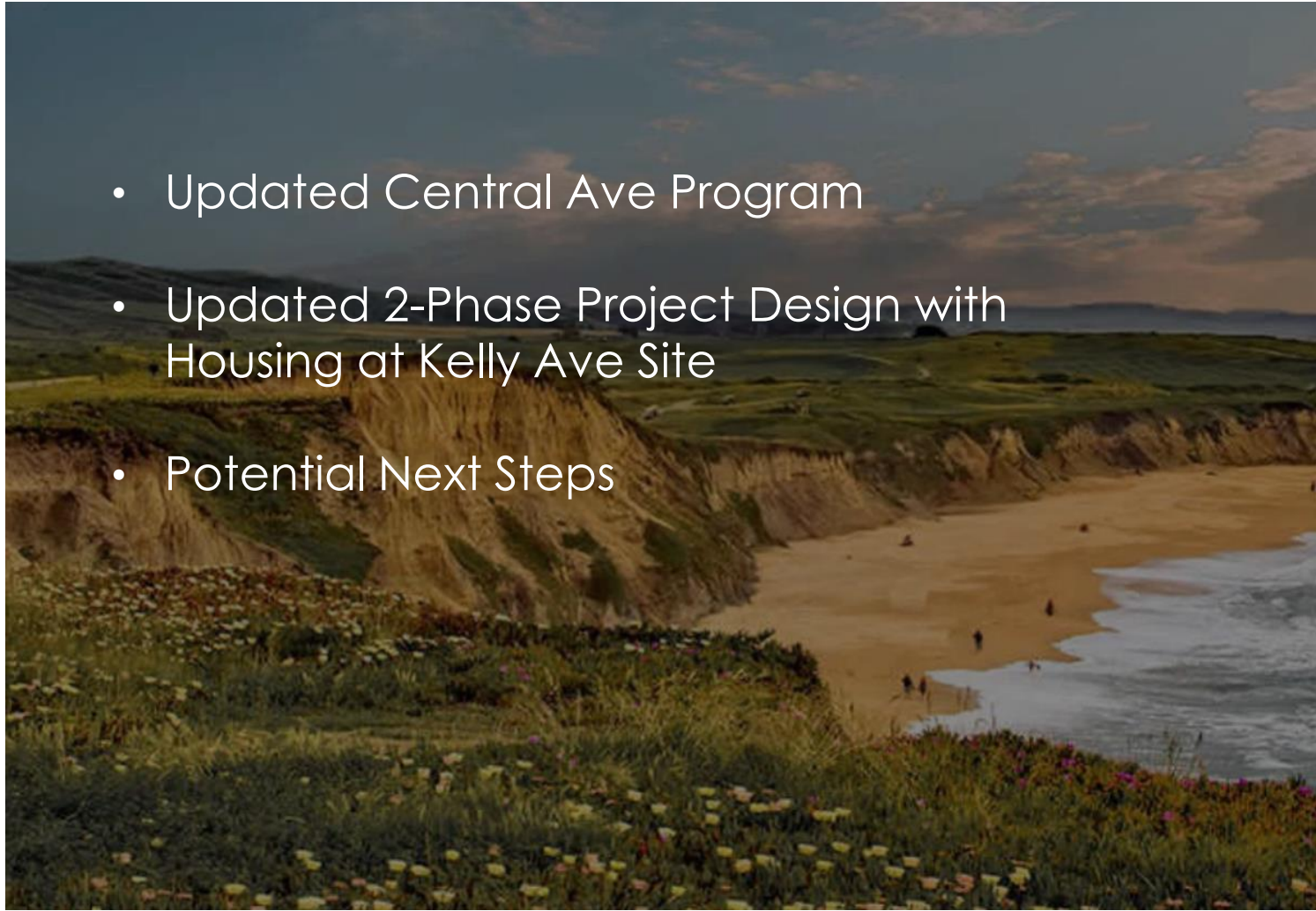
1. Consider playing fields and school uses at Central Ave site
2. Provide more visual relief/open space to promote view corridors along Hwy 1
3. Incorporate local materials and character into Warehouse Elevations

# Re-envisioned Project

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- Updated Central Ave Program
- Updated 2-Phase Project Design with Housing at Kelly Ave Site
- Potential Next Steps





# Central Ave Design Option 1



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## Traffic Alleviation & Parking

- New Pick-up & Drop-off
- 58 net new parking spaces

## Improved School Green Space

- Hatch Field sized for U-10 Soccer
- Additional Open Space

## Relocated Educational Uses

- Library
- Children's Program
- HEAL Project Garden

## Hatch School Garden

- Fruit trees & raised beds

# Central Ave Design Option 2



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## Traffic Alleviation & Parking

- New Pick-up & Drop-off
- 58 net new parking spaces

## Improved School Green Space

- Hatch Field sized for U-10 Soccer
- Additional Open Space

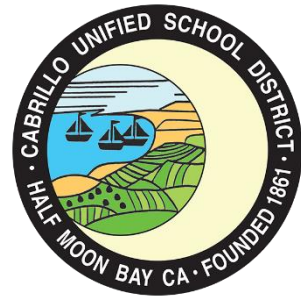
## Relocated Educational Uses

- Library
- Coastside Children's Program
- HEAL Project Garden

## Hatch School Garden

- Fruit trees & raised beds

# Kelly Ave Option A



## Phase 1

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### Workforce Housing Building 1

- 43 units
- 3 and 4 Stories
- Consolidated Corp Yard Facilities
- District Office Remains on Site
- All Parking handled on Site

*Parking for Residential Units is integrated with Corp Yard parking, providing more green space for residents.*

### Components of Scope

Relocate some existing educational uses to Central Ave Site and Hub at Cunha

Consolidation of Corp Yard Facilities:

- New Warehouse with Office Mezzanine (8,400 GSF)
- 33 parking spaces provided
- Electrification of Buses Off Site
- Workforce Housing Building 1:
  - 8 One-Bedroom Units
  - 11 One-Bedroom + Den Units
  - 17 Two-Bedroom Units
  - 7 Three-Bedroom Units
  - 65 residential parking spaces (1.5/unit)

# Kelly Ave Option A



## Full Buildout

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### Workforce Housing Building 1

- 43 units
- 3 and 4 Stories

- Consolidated Corp Yard Facilities
- District Office moves off Site
- All Parking handled on Site

### Workforce Housing Building 2 adds:

- 17 units
- 2 and 3 Stories

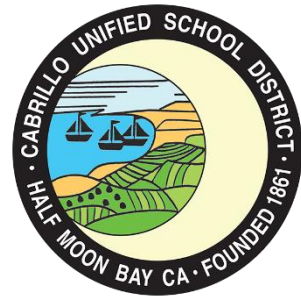
### Components of Added Scope:

#### Workforce Housing Building 1:

- 6 One-Bedroom Units
- 3 One-Bedroom + Den Units
- 3 Two-Bedroom Units
- 5 Three-Bedroom Units

26 residential parking spaces (1.5/unit)

# Kelly Ave Option B



## Phase 1

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### Workforce Housing Building 1

- 43 units
- 3 and 4 Stories
- Consolidated Corp Yard Facilities
- District Office Remains on Site
- All Parking handled on Site

*Housing is isolated from Corp Yard with Residential Parking directly related to the Housing*

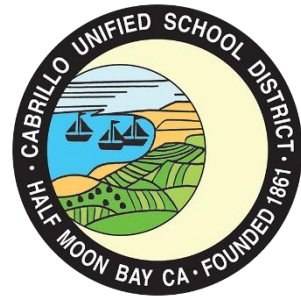
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  - 11 One-Bedroom + Den Units
  - 17 Two-Bedroom Units
  - 7 Three-Bedroom Units
  - 65 residential parking spaces (1.5/unit)

# Kelly Ave Option B



## Full Buildout

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### Workforce Housing Building 1

- 43 units
- 3 and 4 Stories

- Consolidated Corp Yard Facilities
- District Office moves off Site
- All Parking handled on Site

### Workforce Housing Building 2 adds:

- 17 units
- 2 and 3 Stories

### Components of Added Scope

Workforce Housing Building 1:

- 6 One-Bedroom Units
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- 3 Two-Bedroom Units
- 5 Three-Bedroom Units

26 residential parking spaces (1.5/unit)

# Project Timeline



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## 2021-2022

## 2023-2025

## 2025+

Portfolio Analysis

Employee Survey

Preliminary Planning Application

Architectural Advisory Committee

Planning Commission & City Council Hearings

Construction Drawings & Bidding

Start Construction First Phase (early 2026)

Existing Conditions & Visioning

Design & Approvals

Prepare for Construction

Initial Site Due Diligence

Conceptual Site Design

Community Engagement

Environmental Review & Traffic Study

Finalize Funding

Bond Measure November 2024

# Workforce Housing Summary



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## Workforce Housing Summary

- Bay Area cost of living has skyrocketed: this is mostly driven by housing, and housing costs are projected to continue to increase
- Many employees can't afford housing currently in the Bay Area
- **Bond funds and housing loans can't be used for salaries but can help attract and retain employees with a workforce housing strategy**
- This is a way to make underutilized land an asset for district employees
- When loans are paid off, cash flow could be used for salary increases

## City Involvement

- Workforce Housing Overlay in LCP certified in 2021
- Project included in City's Housing Element (12.5% of requirement)

## Endorsements from Regional Housing Groups

- Bay Area Council
- Greenbelt Alliance
- Housing Leadership Council of San Mateo County
- YIMBY (Yes In My Backyard)



# Potential Next Steps

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- Community Brainstorm on Central Ave Programming
- Update Planning Application and Resubmit to City
- Phase II Environmental Site Analysis
- CEQA Initial Study
- Traffic Impact Analysis upon Submittal to City

## Additional Resources / Links

[JUHSD's workforce housing 705 Serramonte Daly City](#)

[JUHSD workforce housing informational video](#)

[Good Morning America story on JUHSD workforce housing](#)

[CSBA Education Workforce Housing Handbook](#)

# Spotlight on Educator Housing

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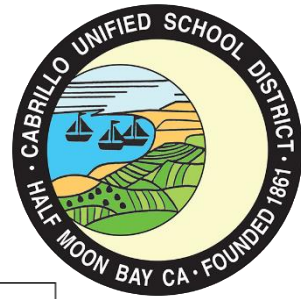


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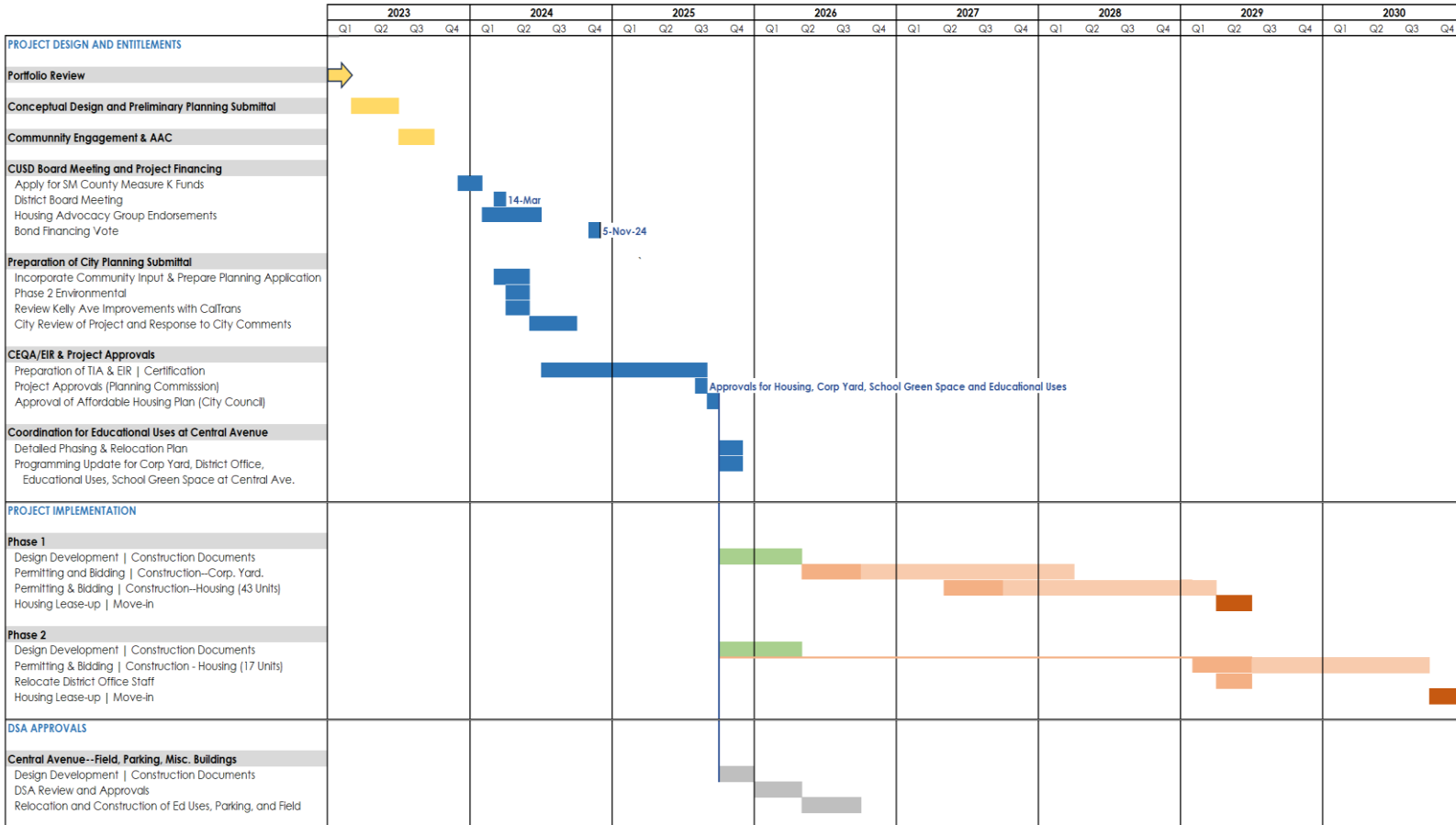
# Appendix

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# Project Schedule

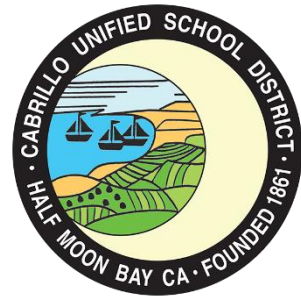


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Bond funding in November 2024 means housing first phase in 2029

# Existing Conditions at Kelly Ave Site

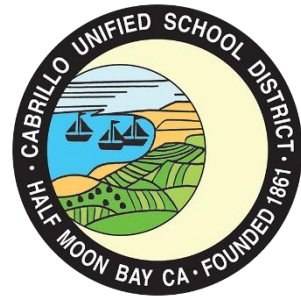


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- Inefficient Corp Yard Buildings (shown in blue)
- Vehicular Congestion due to the current Traffic in and out of the Site
- Faculty and Staff Housing anticipated for this Site per the Local Coastal Plan
- Ideal High Density site due to location and isolation from single family residences

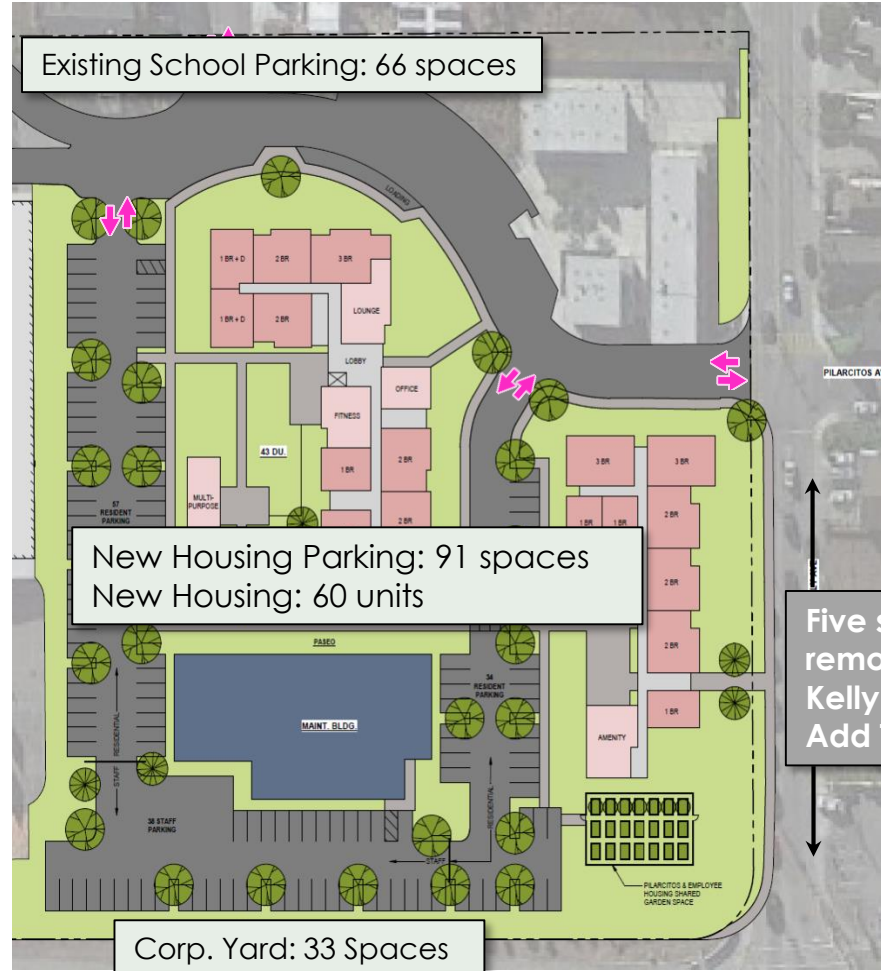
# Site Parking: Combined Parking



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New Parking/Pick-up & Drop-off (58 new spaces)



# Site Improvements | Traffic



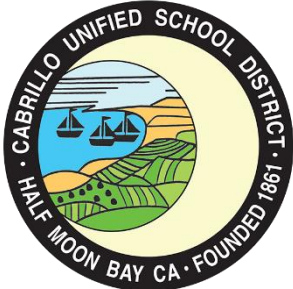
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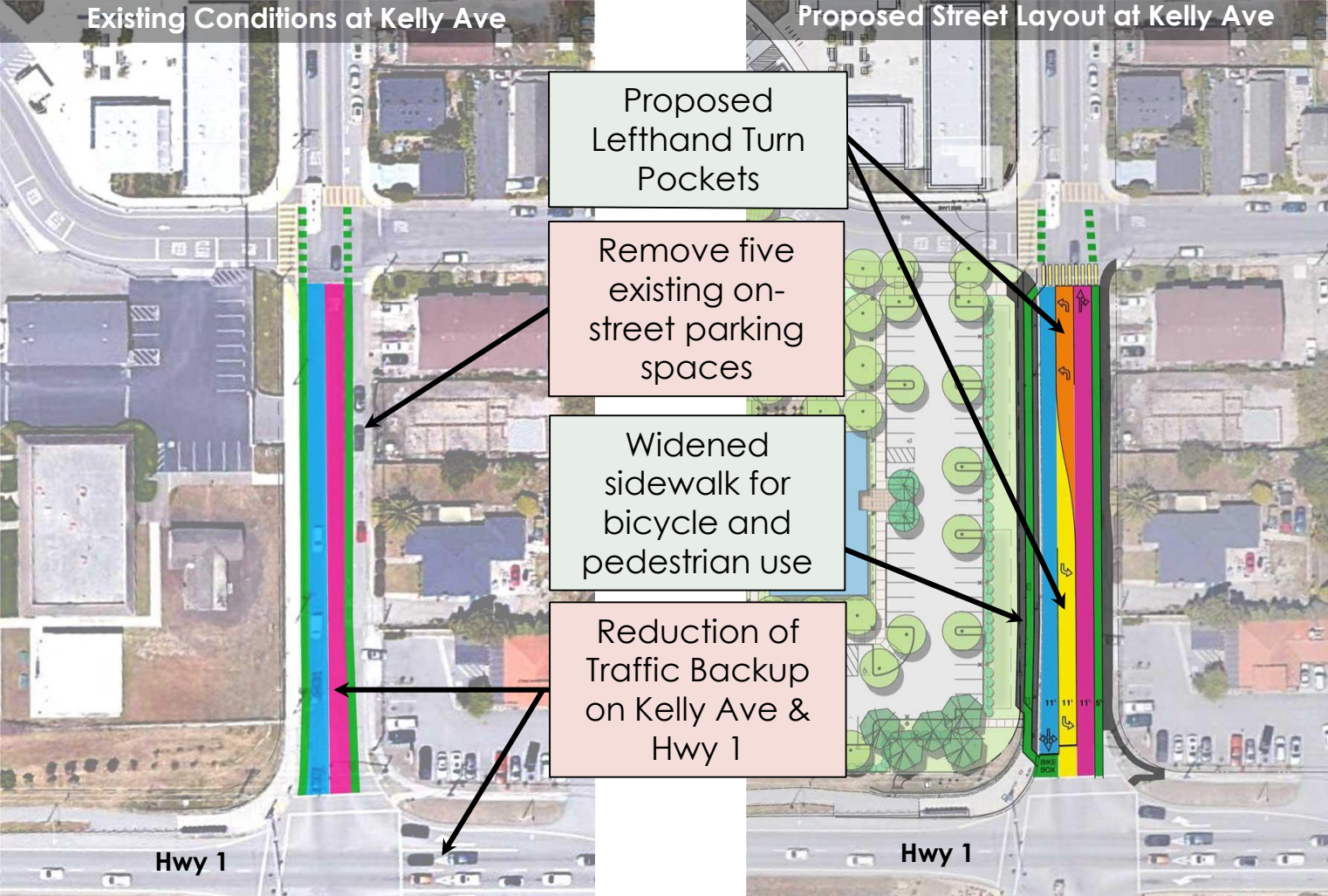
- Few new vehicle trips during morning school drop-off and afternoon school pickup
- Traffic improvements help cars flow more efficiently, reducing stop time at signal
- Traffic is reduced overall because CUSD employees will live near where they work

60 Units of Housing		
	AM Peak	PM Peak
Time of Day	7:40am - 8:40am	4:30pm - 5:30pm
Existing Trips per Hour	730	664
Increase per Hour	28	34
% Increase	3.8%	5.1%

# Kelly Ave Improvements



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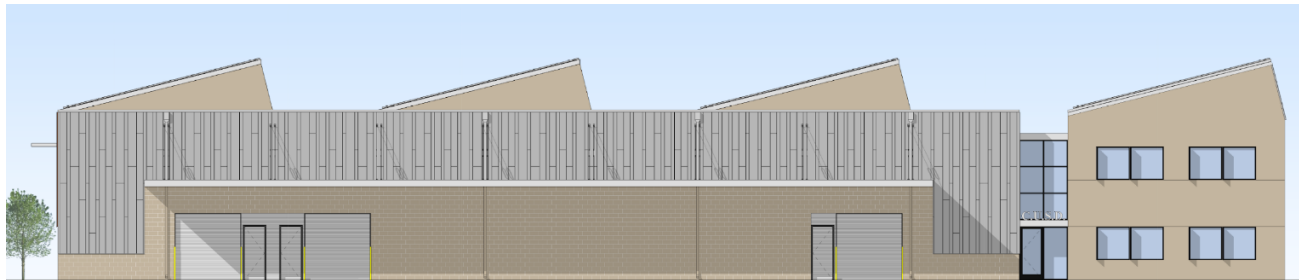


# Kelly Ave Maintenance & Operations Elevations

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**View C:** View looking East from Kelly Ave Housing



**View D:** View looking West from Hwy 1



# Central Ave Housing Elevations



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**View E:** View looking North from Courtyard



**View F:** View looking North from Townhouse Parking

