



Coastside Fire Protection District

STAFF REPORT

TO: Honorable Board of Directors

FROM: Jonathan Cox, Deputy Chief

DATE: February 28, 2024

SUBJECT: **Fire Station 41 South Lot 90% Construction Plans**

Staff Recommendation

Review, discuss and provide direction to Staff on proceeding with Station 41 South Lot public works improvements.

Background/Discussion

The Coastside Fire Protection District entered into a Professional Services Agreement with RHAA Landscape Architects for design concepts for the unimproved South Lot at the new Fire Station 41, located at 555 Obispo Rd., El Granada, CA 94018 in 2022. RHAA Architects worked with District Staff to finalize two Options for the South Lot. RHAA Landscape Architects presented both Options to the Board in September 2022. Since that meeting, a cost estimate was completed, and an option was chosen by the board.

In August 2023 the Board gave direction to Staff to proceed with initiating construction plans. Attached are the 90% construction plans. Staff is seeking direction to proceed with plan submittal and initiating a contract for a project manager to oversee the project moving forward.

Fiscal Impact

Estimated to be approximately \$250,000.

Attachments

1. 90% Construction Plans
2. August 2023 Staff Report and Supporting Documents

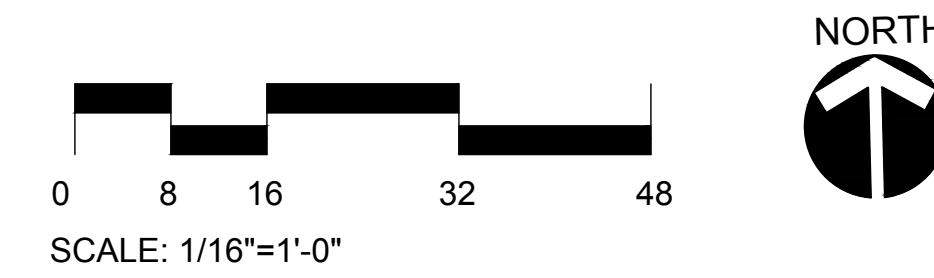
VICINITY MAP



PROJECT SITE



SITE PLAN



GENERAL NOTES:

1. THE DRAWINGS AND SPECIFICATIONS DESCRIBE IN GENERAL THE QUALITY AND CHARACTER OF THE MATERIALS, SHAPE AND CONFIGURATION OF IMPROVEMENTS AND THE DESIGN INTENT OF THE COMPLETED, INSTALLED WORK. MISCELLANEOUS ITEMS OF WORK, MATERIAL, EQUIPMENT, ETC., NECESSARY TO COMPLETE THE INSTALLATION SHALL BE PROVIDED BY THE CONTRACTOR WHETHER OR NOT MENTIONED IN THE SPECIFICATIONS OR SHOWN ON THE DRAWINGS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
2. CONTRACTOR SHALL PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED IN KIND AT NO ADDITIONAL COST TO THE OWNER. BARRICADES, SIGNS, LIGHTS, ETC., REQUIRED FOR THE PROTECTION OF PUBLIC, PERSONNEL, PROPERTY AND MATERIAL SHALL BE PROVIDED FOR AND MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR, AND SHALL CONFORM TO ALL GOVERNING CODES, ORDINANCES AND REGULATIONS.
3. THE CONTRACTOR SHALL EMPLOY ALL MEANS NECESSARY TO CONTROL DUST AT AND NEAR THE SITE OF WORK AND ALONG APPROACH ROUTES TO THE CONSTRUCTION SITE.
4. CONTRACTOR SHALL PROVIDE ALL TOOLS, TRANSPORTATION, UTILITIES, TEMPORARY FACILITIES, AND OTHER SERVICES AS NECESSARY FOR PROPER EXECUTION OF THE WORK, AND SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF THESE ELEMENTS DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE IN ADVANCE FOR APPROVAL OF THE MATERIAL STORAGE AREA AT THE JOB SITE.
5. CONTRACTOR SHALL MAINTAIN GOOD CLEANLINESS PRACTICES AT THE JOB SITE. EXCESS BUILDING MATERIALS AND DEBRIS SHALL BE REMOVED PROMPTLY FROM THE JOB SITE AND DISPOSED OF AT AN APPROVED DUMPSITE. THE JOB SITE SHALL BE LEFT CLEAN AT THE END OF EACH WORKDAY. BEFORE ACCEPTANCE BY THE OWNER'S REPRESENTATIVE, THE COMPLETED CONSTRUCTION SHALL BE CLEARED, ANY APPLICABLE LABELS REMOVED, AND ALL OTHER TOUCHUP WORK COMPLETED. ALL FINISH MATERIALS SHALL BE PROTECTED AT ALL TIMES AGAINST SUBSEQUENT DAMAGE UNTIL FINAL ACCEPTANCE BY THE OWNER.
6. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DIFFERENCES IN LOCATIONS OF EXISTING UTILITIES FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WORK IN THAT AREA.
8. PROVIDE ADEQUATE COVER FOR THE PROTECTION OF ALL PROPOSED AND EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
9. ANY REVISIONS OR ADDITIONAL WORK REQUIRED AS A RESULT OF FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. WORK PERFORMED BY THE CONTRACTOR WITHOUT WRITTEN AUTHORIZATION SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR WHO SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO. ANY AND ALL REVISIONS SHALL BE IN WRITTEN CHANGE ORDER FORM AND APPROVED AND AUTHORIZED BY THE OWNER BEFORE BEGINNING WORK.
10. ALL REVIEWS AND APPROVALS REQUIRED BY LANDSCAPE ARCHITECT REFERENCED WITHIN THESE DRAWINGS SHALL BE REFERRED TO THE OWNER'S REPRESENTATIVE.

SHEET INDEX

- L0.00 GENERAL NOTES
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- L1.01 KEY DIMENSION AND GRADING PLAN
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- L1.03 LANDSCAPE DETAILS
- L2.00 IRRIGATION LEGEND
- L2.01 IRRIGATION PLAN
- L2.02 IRRIGATION DETAILS
- L2.03 IRRIGATION DETAILS
- L3.00 PLANTING SCHEDULE
- L3.01 PLANTING PLAN
- L3.02 PLANTING DETAILS
- L4.00 DEFENSIBLE SPACE CONCEPT SLIDES
- C-1 CIVIL SIDEWALK DEMO PLAN
- C-2 CIVIL SIDEWALK GRADING PLAN

PROJECT TEAM

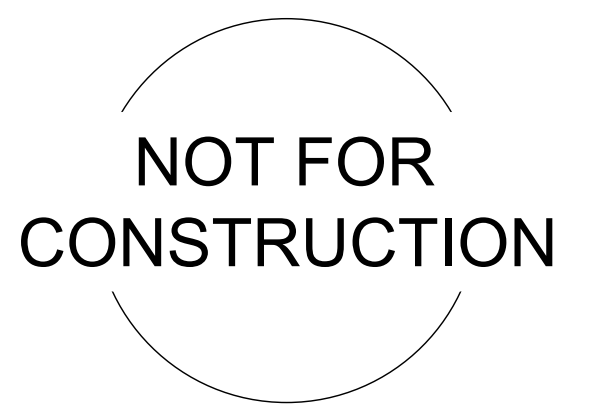
CLIENT:
CALFIRE
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PHONG KIET, PE
E: PKIET@BKF.COM
1730 N. FIRST STREET, SUITE 600
SAN JOSE, CA 95112
(408) 709-6297

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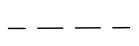

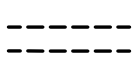
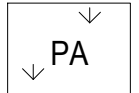
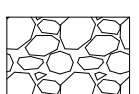




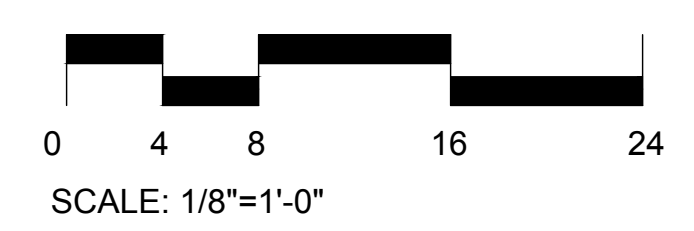
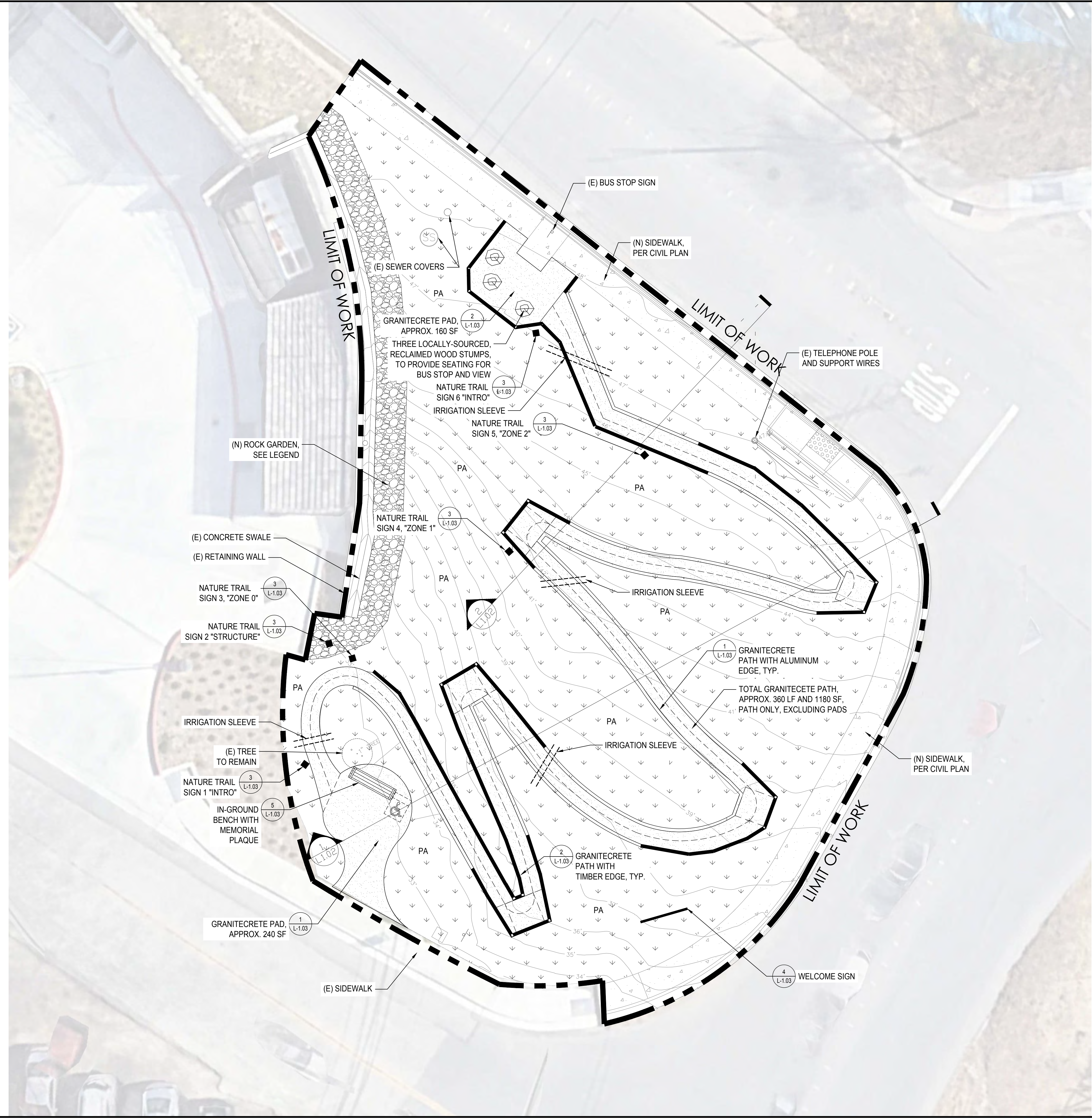
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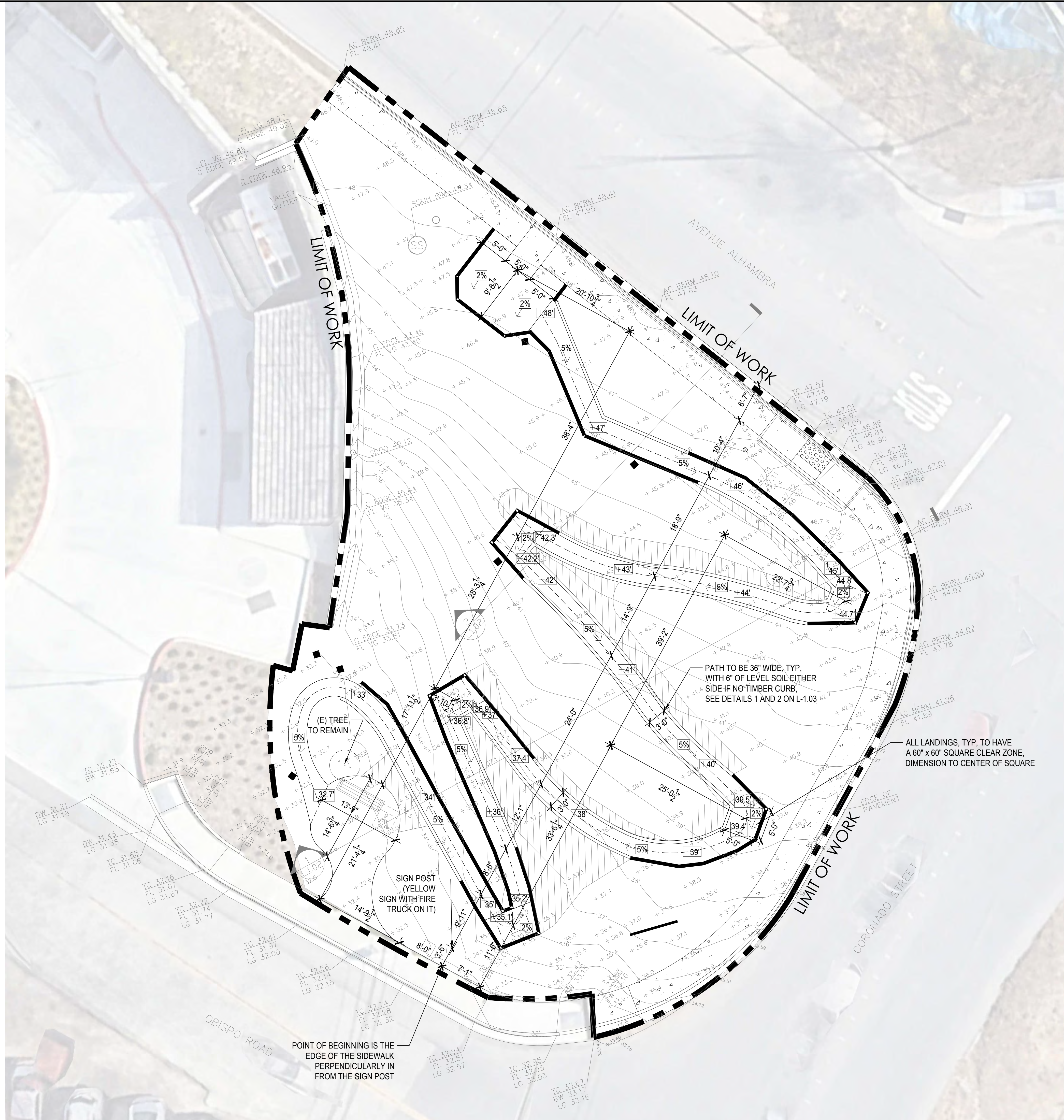
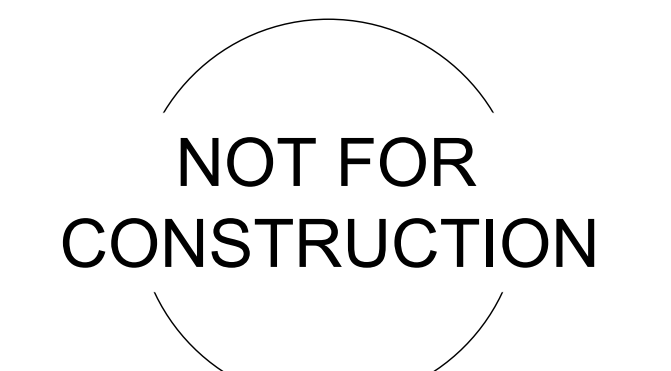
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**NOT FOR
CONSTRUCTION**

LEGEND

-  GRANITECRETE PATH AND PADS, SEE CALLOUTS FOR APPROX. SQUARE FOOTAGE
-  CENTERLINE OF PATH
-  LANDSCAPE TIMBER EDGING, SEE SECTIONS ON L-1.02 AND DETAIL 2 ON L-1.03
-  SLEEVING UNDER PATH FOR IRRIGATION LINES
-  PLANTING AREA, AMEND SITE SOIL, PREPARE PER SOIL ANALYSIS AND RECOMMENDATIONS, 3" MULCH TOP LAYER APPROX. 6800 SF
-  ROCK GARDEN, VARIOUS SIZES ROCKS CHOSEN BY CONTRACTOR, 5' WIDE "ZONE 0 DEFENSIBLE SPACE", APPROX. 490 SF
-  NEW CONCRETE SIDEWALK, PER CIVIL PLAN
-  CENTERLINE OF PATH





LEGEND

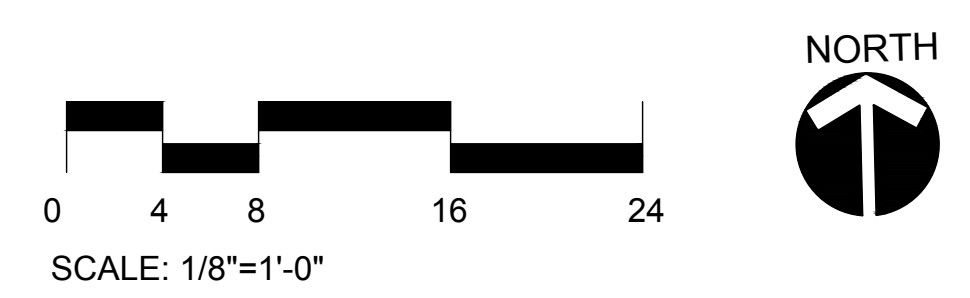
- + 47.63 EXISTING ELEVATION
- EXISTING CONTOURS
- +42.4' NEW PATH FINISHED GRADE ELEVATION
- NEW PATH FINISHED SLOPE
- 5% → PATH TO BE 5% OR LESS, WITH 2% OR LESS CROSS SLOPE
- APPROXIMATE AREA OF RE-GRADING, MAX SLOPE 3:1, SEE SECTIONS ON L-1.02 FOR EXAMPLE
- NEW CONCRETE SIDEWALK, PER CIVIL PLAN

KEY DIMENSION NOTES

1. THE CONTRACTOR IS RESPONSIBLE TO LAYOUT ALL IMPROVEMENTS AS SHOWN AND SPECIFIED.
2. THE CONTRACTOR SHALL FIELD VERIFY THAT ALL STAKING SET FOR IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT OF THESE PLANS AND IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT OF ANY DISCREPANCY.
3. ALL CURVES TO BE CONTINUOUS WITH SMOOTH TRANSITIONS AS SHOWN IN THE DRAWINGS, UNLESS OTHERWISE NOTED.

GRADING NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL IMPROVEMENTS TO THE ADJACENT EXISTING CONDITIONS WITH SMOOTH TRANSITIONS TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES, CROSS SLOPE, HAZARDOUS CONDITIONS, ETC.
2. CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE DESIGN INTENT AND EXISTING CONDITIONS AND ANY CONFLICTING INFORMATION REGARDING FINISH GRADES AND ELEVATIONS.
3. ALL EXISTING UTILITY STRUCTURES (SHOWN OR NOT SHOWN ON THE DRAWINGS) WITHIN THE AREA OF WORK SHALL BE ADJUSTED OR RECONSTRUCTED TO THE FINISH GRADES SHOWN AND SPECIFIED.
4. ALL FINISH GRADES AND CONTOURS IN PLANTING AREAS REFER TO FINISH GRADE OF THE MULCHED LANDSCAPE.



PROJECT/CLIENT NAME

**COASTSIDE FIRE
PROTECTION DISTRICT
FIRE STATION #41**

OBISPO ROAD, EL
GRANADA, CA, 94018

PROJECT NUMBER

22103A

CONSULTANT

SUBMITTAL

**90%
CONSTRUCTION
DOCUMENTS**

DATE
9TH FEBRUARY 2024

REVISIONS

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REGISTRATION AND SIGNATURE

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
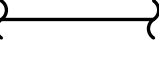
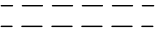






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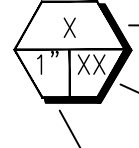


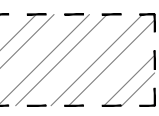
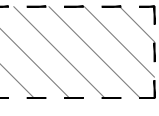

**IRRIGATION
LEGEND**

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L-2.00

IRRIGATION LEGEND

-  **2-WIRE WEATHER BASED IRRIGATION CONTROLLER SYSTEM**
RAINBIRD ESP-LXMM CONTROLLER (WALL MOUNTED),
HARDWIRED RAIN SENSOR RSD-CE (LOCATION PER PLANS)
-  **MASTER VALVE**
GRISWOLD PRESSURE REGULATING VALVE, NORMALLY OPEN (LINE SIZE)
-  **FLOW METER**
RAINBIRD 2" FS-200-B
-  **MAINLINE: 2" SCHEDULE 40 PVC**
-  **LATERAL LINE: SCH 40 PVC, 1" AND LARGER, SEE SIZING CHART BELOW**
-  **SLEEVE: CLASS 200 PVC, SIZE AS SHOWN**
-  **GATE VALVE**
NIBCO T113-IRR (LINE SIZE)
-  **QUICK COUPLING VALVE**
RAINBIRD 5-LRC, BRASS, LOCKING COVER, 1-PIECE BODY
-  **FLUSH RELIEF VALVE**
RAINBIRD MANUAL ASSEMBLY IN BOX, PER DETAIL 1/L-2.03
-  **AIR VACUUM RELIEF VALVE: PER DETAIL 2/L-2.03**
-  **DRIP OPERATION INDICATOR: PER DETAIL 3/L-2.03**
-  **REMOTE CONTROL VALVES W/ PRESSURE REGULATION, FD 2-WIRE DECODERS, & SMRT-Y SOIL MOISTURE SENSORS**

| | |
|--------------------------|---------------------------------------|
| MEDIUM+HIGH FLOW | LOW FLOW-DRIP ZONES |
| RAINBIRD PESB-PRS-D | RAINBIRD XERIGATION CONTROL ZONE KITS |
| PRESSURE REGULATING TYPE | XCZ-PRB-100-COM & XCZ-PRB-150-COM |
-  **CONTROLLER / STATION NUMBER**
 **FLOW RATE (GPM)**
 **VALVE SIZE (INCHES)**
-  **ON SURFACE DRIP ZONE**
XFD-06-18 W/18" OC ROW SPACING BY RAINBIRD OR APPROVED EQUAL.
-  **TEMPORARY IRRIGATION ZONE**
SPRAY IRRIGATION BY RAINBIRD OR APPROVED EQUAL FOR TEMPORARY ESTABLISHMENT OF HYDROSEED.
-  **TREE DRIP RING**
TWO (2) 1/2 GPM BUBBLERS PER TREE

| PVC PIPE SIZING | | TYPICAL VALVE SIZING |
|-----------------|------------------|-------------------------|
| 0-6 GPM: 0.75" | 29-45 GPM: 2.0" | 00 - 25 GPM: 1.0" VALVE |
| 7-12 GPM: 1.0" | 46-65 GPM: 2.5" | 26 - 35 GPM: 1.25" |
| 13-28 GPM: 1.5" | 66-100 GPM: 3.0" | 36 - 50 GPM: 1.5" |
| | | 51 - 100 GPM: 2" |

IRRIGATION NOTES

1. REFER TO PLANS, DETAILS AND SPECIFICATIONS FOR IRRIGATION SYSTEM COMPONENTS, INSTALLATION, MAINTENANCE, SCHEDULING, AND REPORTING REQUIREMENTS.
2. THE CONTRACTOR SHALL COMPLY WITH LOCAL WATER DISTRICT PROCEDURES & REQUIREMENTS, ALL COUNTY OF SAN MATEO REQUIREMENTS, AND THE STATE WATER EFFICIENT LANDSCAPE ORDINANCE. ORDINANCE CRITERIA HAS BEEN APPLIED ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
3. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS ARE TO BE INSTALLED WITHIN PLANTING AREAS TO THE GREATEST EXTENT POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED.
4. THE CONTRACTOR IS TO INVESTIGATE THE EXISTING AND PROPOSED FINISHED CONDITION OF THE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS AND/OR DISCREPANCIES BETWEEN EXISTING AND PROPOSED CONDITIONS WHICH WILL AFFECT THE WORK, BEFORE PROCEEDING WITH THE WORK. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES, INCLUDING THE INSTALLATION OF ALL PIPE, CONDUIT AND SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES.
6. PRIOR TO TRENCHING AND DIGGING, CONTACT USA (800-227-2600) TO LOCATE ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS UNDERGROUND UTILITIES, VAULTS, ETC. THE CONTRACTOR SHALL AVOID CONFLICTS WITH UNDERGROUND UTILITIES, NEW PLANTING, SITE OR ARCHITECTURAL ELEMENTS, AND EXISTING TREES; ANY DAMAGE TO THESE CAUSED BY THE INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE REPAIRED AND/OR REPLACED AT NO EXPENSE TO THE OWNER.
7. DO NOT TRENCH OR INSTALL IRRIGATION PIPING OR EQUIPMENT IN LIME-TREATED SOIL.
6. NO FLOW RATE OR LINE PRESSURE WAS AVAILABLE DURING THE DESIGN OF THIS IRRIGATION PLAN. THE CONTRACTOR SHALL VERIFY FLOW RATE AND PRESSURE AT THE POINT OF CONNECTION PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM AND NOTIFY THE OWNER'S REPRESENTATIVE OF TEST RESULTS BEFORE CONSTRUCTION BEGINS. NOTIFY LANDSCAPE ARCHITECT IF PRESSURE IS GREATER OR LESS THAN THE STATIC PRESSURE STATED ON THE PLANS TO DETERMINE IF PRESSURE REGULATION OR A BOOSTER PUMP IS REQUIRED.
7. CONTRACTOR TO FIELD VERIFY CONDITION OF ALL EXISTING IRRIGATION EQUIPMENT IMPACTED BY NEW CONSTRUCTION AND REPAIR AND REPLACE AS NECESSARY.
8. INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
9. INSTALL ONE SPARE COMMON AND CONTROL WIRE FROM EACH CONTROLLER IN A CONTINUOUS LOOP THROUGH EACH VALVE BOX FOR FUTURE USE.
10. WHERE PIPE SIZES HAVE BEEN OMITTED OR THERE IS A CONFLICT, REFER TO THE LATERAL PIPE SIZING CHART FOR SIZES. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION, PIPE SIZES MAY NEED TO BE ADJUSTED ACCORDINGLY. ALL LATERAL END RUNS SHALL BE 1" SIZE UNLESS OTHERWISE NOTED.
11. THE REMOTE CONTROL VALVES SPECIFIED ON THE DRAWINGS ARE PRESSURE REDUCING TYPES. SET THE DISCHARGE PRESSURE AS RECOMMENDED BY MANUFACTURER.
12. CONTRACTOR TO ASSUME (4) ADDITIONAL CONTROL VALVES TO BE INSTALLED AS NEEDED.
13. LARGE AREAS OF ORNAMENTAL GRASSES ARE TO BE IRRIGATED BY A DEDICATED CONTROL VALVE.
14. ALL IRRIGATION BOXES AND LIDS TO BE BLACK.
15. LOCATE BUBBLERS AND EMITTERS ON UPHILL SIDE OF PLANT OR TREE.
16. CONTRACTOR TO MAINTAIN EXISTING PLANTED AREAS THROUGHOUT CONSTRUCTION AND COORDINATE OPERATIONS TO KEEP EXISTING PLANTING AREAS ALIVE AND HEALTHY. EXISTING AND NEW IRRIGATION SYSTEMS SHALL BE INSTALLED, ADJUSTED AND MAINTAINED TO PROVIDE 100% COVERAGE OF PLANTING AREAS AND TO PREVENT MISTING, OVERSPRAY AND RUNOFF ONTO BUILDINGS, WALLS WINDOWS, PAVED AREAS, ETC.
17. FLUSH AND ADJUST IRRIGATION EMITTERS, NOZZLES AND OUTLETS FOR OPTIMUM PERFORMANCE AND TO PREVENT SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
18. CONTRACTOR SHALL MAKE FINAL CONNECTION BETWEEN ELECTRICAL SUPPLY AND THE CONTROLLER, AND BETWEEN THE MAIN LINE AND WATER SOURCE AT THE POINT OF CONNECTION(S).
19. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH. IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE AND WIND EXPOSURE.
20. THE CONTRACTOR SHALL COORDINATE VALVE NUMBERING, CONTROLLER OPERATIONS AND PROGRAMMING WITH OWNER'S REPRESENTATIVE.

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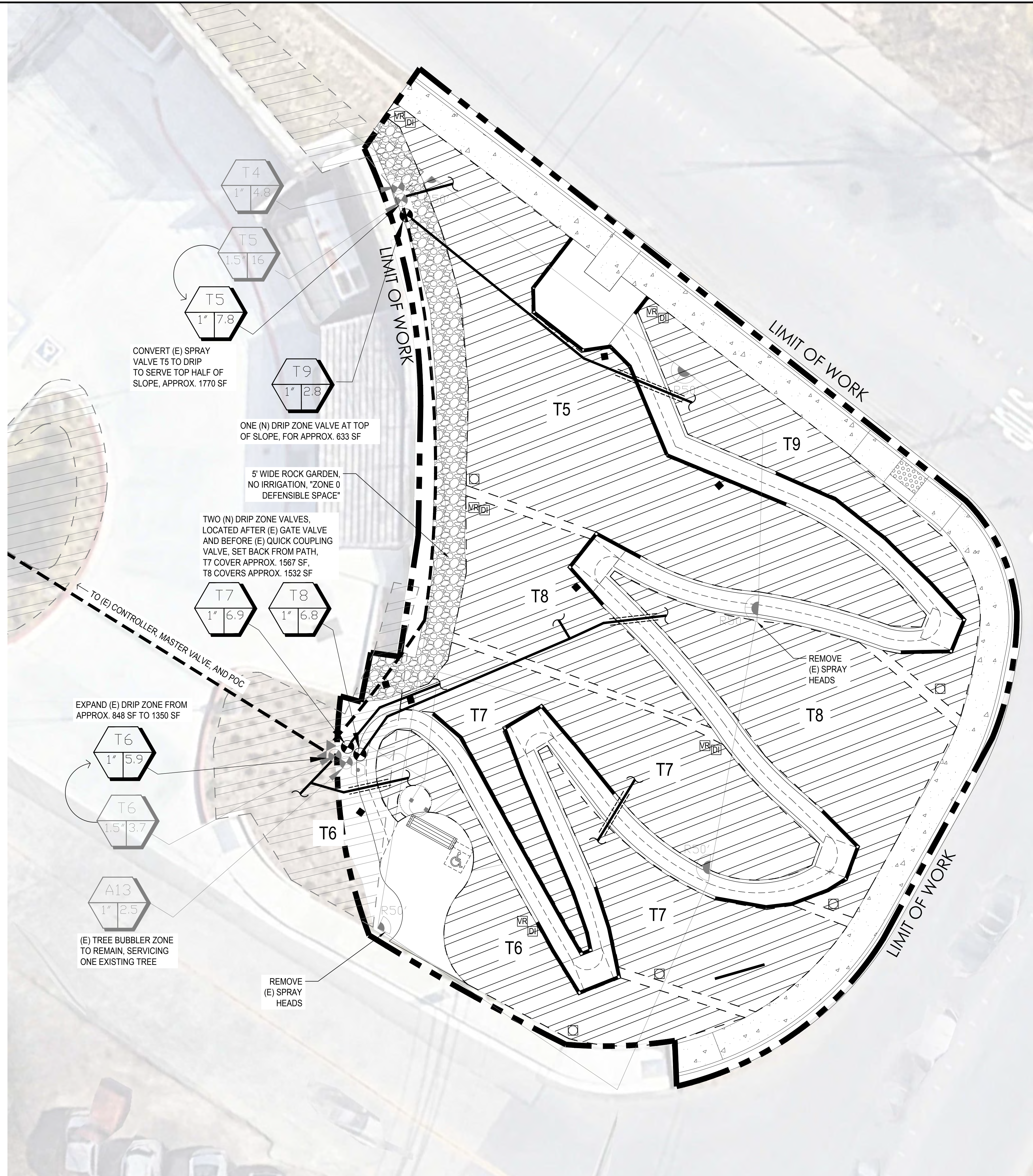
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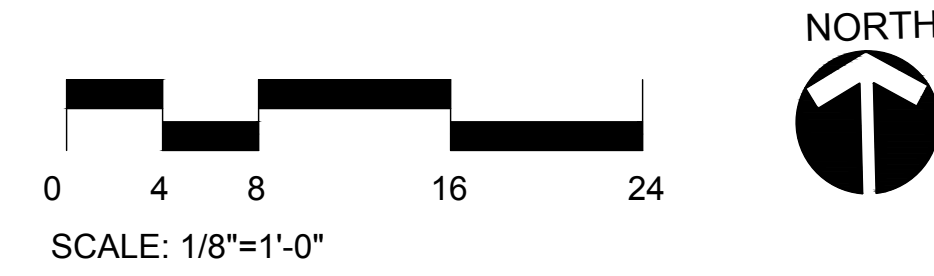
IRRIGATION PLAN

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L-2.01



- NOTES:**
- (E) IRRIGATION IS FADED BACK, (N) IRRIGATION IS BOLD
 - (E) CONTROLLER AT FIRESTATION TO REMAIN AND SERVICE IMPROVED / EXPANDED SYSTEM
 - SEE FULL NOTES AND LEGEND ON L-2.00



PROJECT/CLIENT NAME

**COASTSIDE FIRE
PROTECTION DISTRICT
FIRE STATION #41**

OBISPO ROAD, EL
GRANADA, CA, 94018

PROJECT NUMBER

22103A

CONSULTANT

SUBMITTAL

**90%
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DATE
9TH FEBRUARY 2024

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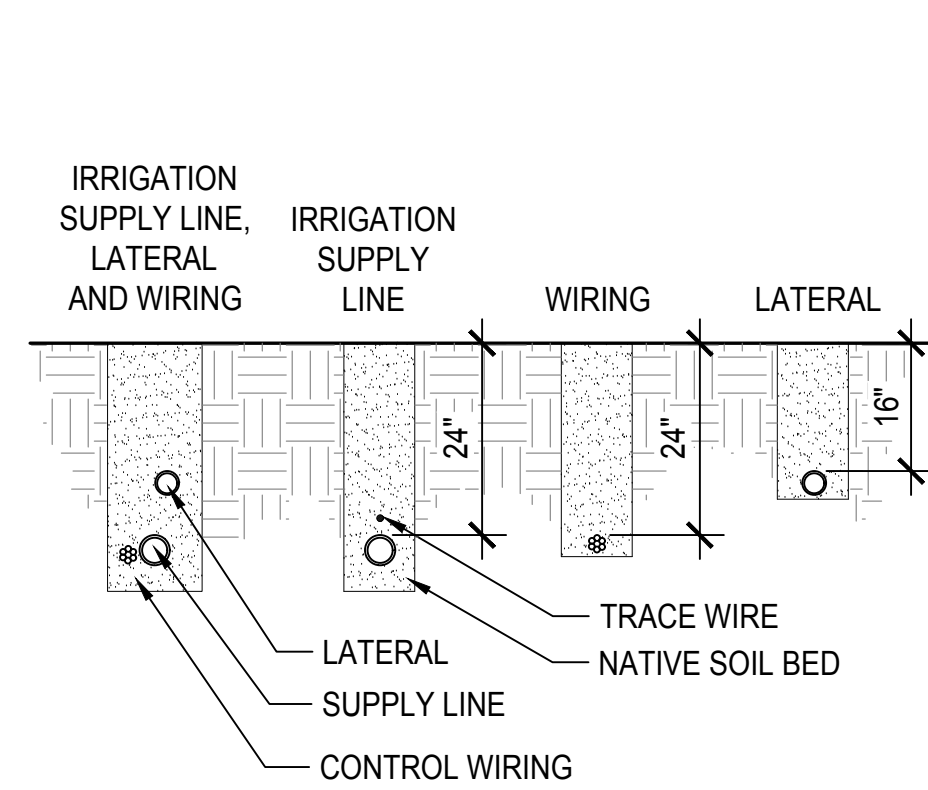
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**IRRIGATION
DETAILS**

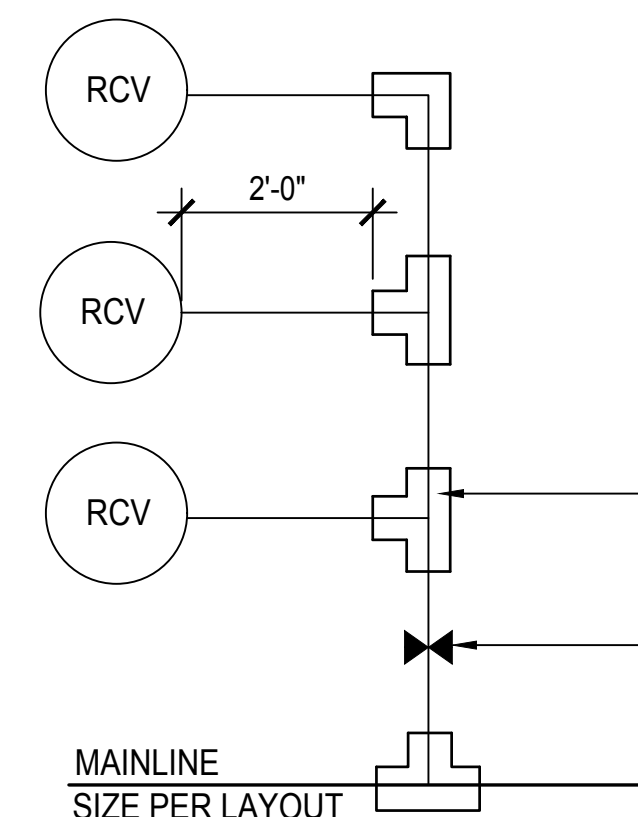
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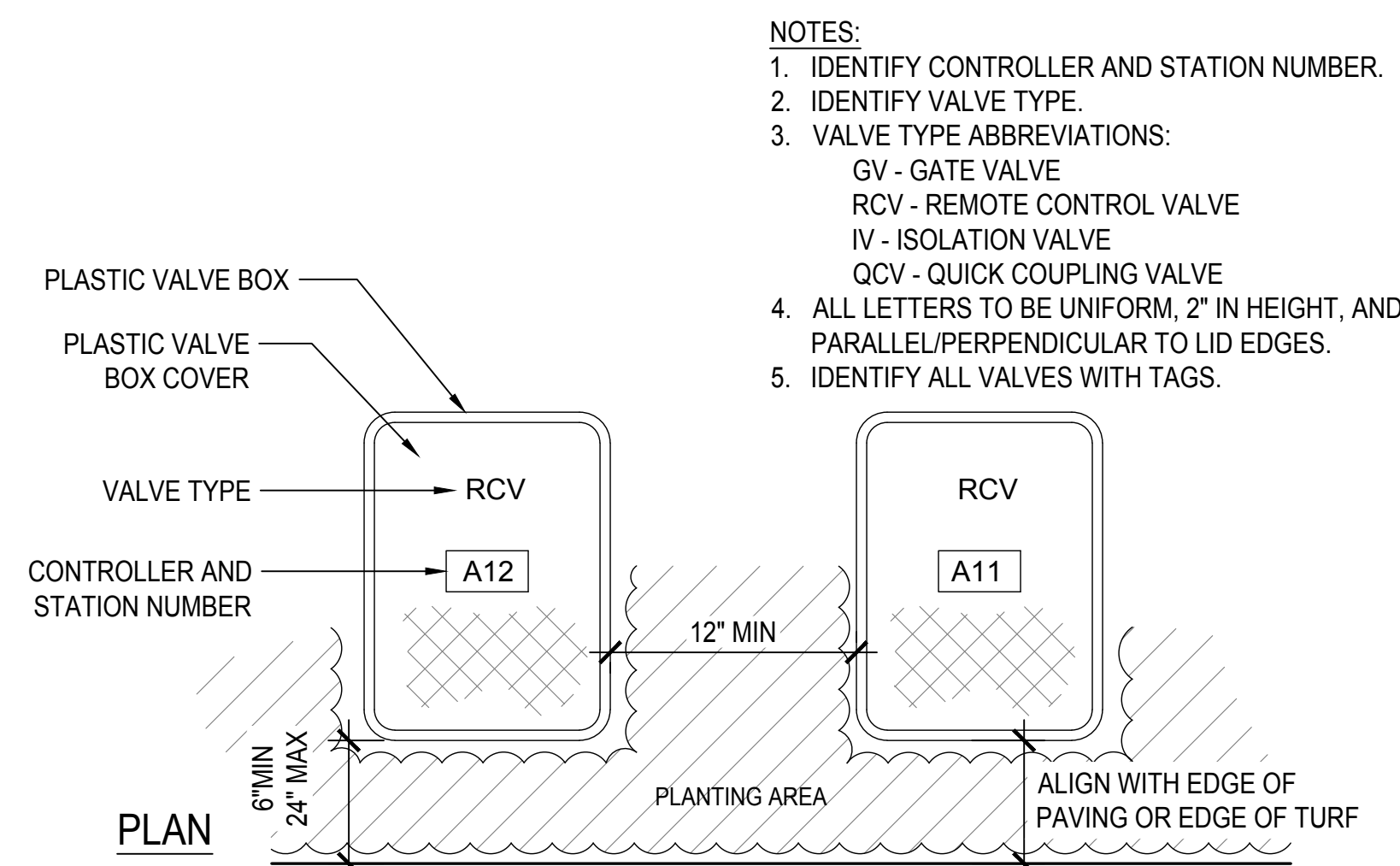
- NOTES:**
- LAY IRRIGATION SUPPLY LINE ON NATIVE SOIL BED UNLESS SAND BED IS SPECIFIED.
 - BUNDLE AND TAPE WIRE EVERY TEN FEET.
 - PROVIDE 36" COVER OVER ALL PIPE AND PIPE SLEEVES UNDER ROADWAYS, PARKING LOTS, ENTRANCES TO PARKING LOTS AND FIRE ACCESS LANES PER NFPA 24, SECTION 10.44.
 - PROVIDE SEPARATE SLEEVES FOR ALL WIRES CROSSING UNDER ROADWAYS, PARKING LOTS AND FIRE ACCESS LANES PER NFPA 24, SECTION 10.44.

6 IRRIGATION TRENCHING
SCALE: 1/2" = 1'-0"



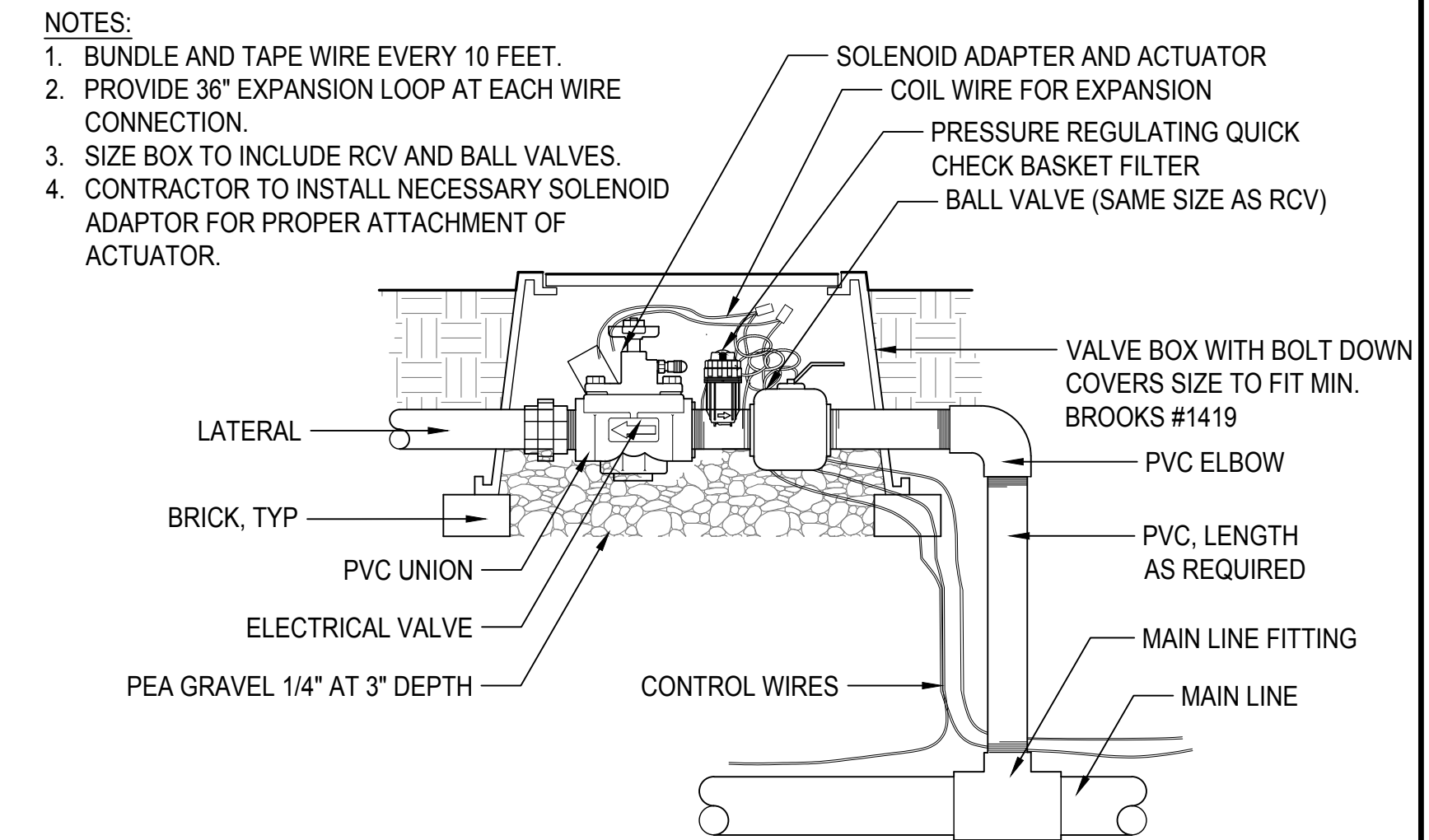
- NOTES:**
- SEE IRRIGATION PLAN FOR SUGGESTED VALVE SIZES AND GROUPING. GROUP AS DICTATED BY SITE CONDITIONS.
 - MAXIMUM NUMBER OF VALVES PER MANIFOLD SHALL BE 7.

5 VALVE GROUPINGS
SCALE: 1/2" = 1'-0"



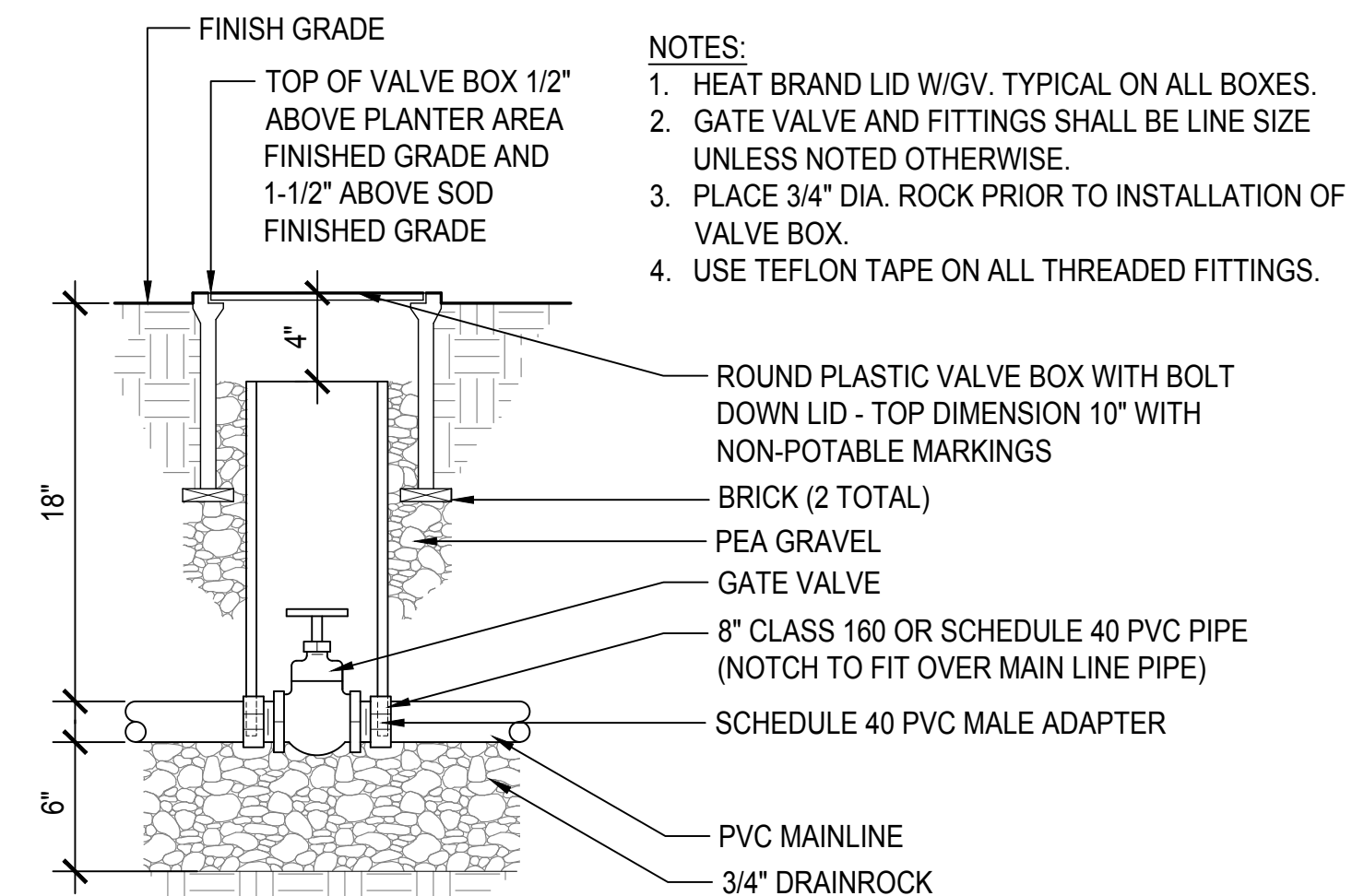
- NOTES:**
- IDENTIFY CONTROLLER AND STATION NUMBER.
 - IDENTIFY VALVE TYPE.
 - VALVE TYPE ABBREVIATIONS:
GV - GATE VALVE
RCV - REMOTE CONTROL VALVE
IV - ISOLATION VALVE
QCV - QUICK COUPLING VALVE
 - ALL LETTERS TO BE UNIFORM, 2" IN HEIGHT, AND PARALLEL/PERPENDICULAR TO LID EDGES.
 - IDENTIFY ALL VALVES WITH TAGS.

4 VALVE BOXES
SCALE: 1-1/2" = 1'-0"



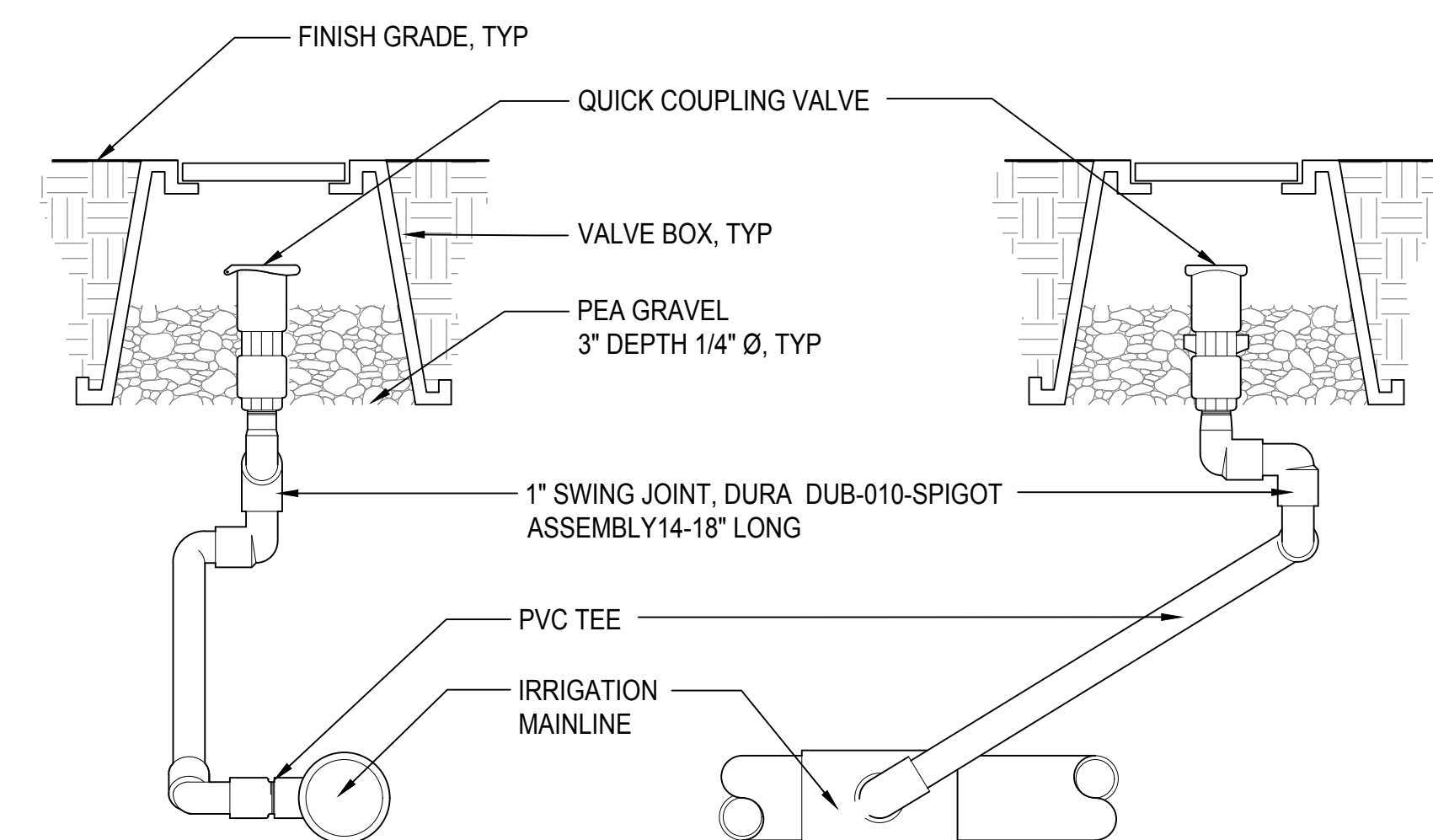
- NOTES:**
- BUNDLE AND TAPE WIRE EVERY 10 FEET.
 - PROVIDE 36" EXPANSION LOOP AT EACH WIRE CONNECTION.
 - SIZE BOX TO INCLUDE RCV AND BALL VALVES.
 - CONTRACTOR TO INSTALL NECESSARY SOLENOID ADAPTOR FOR PROPER ATTACHMENT OF ACTUATOR.

3 REMOTE CONTROL VALVE
SCALE: 3" = 1'-0"



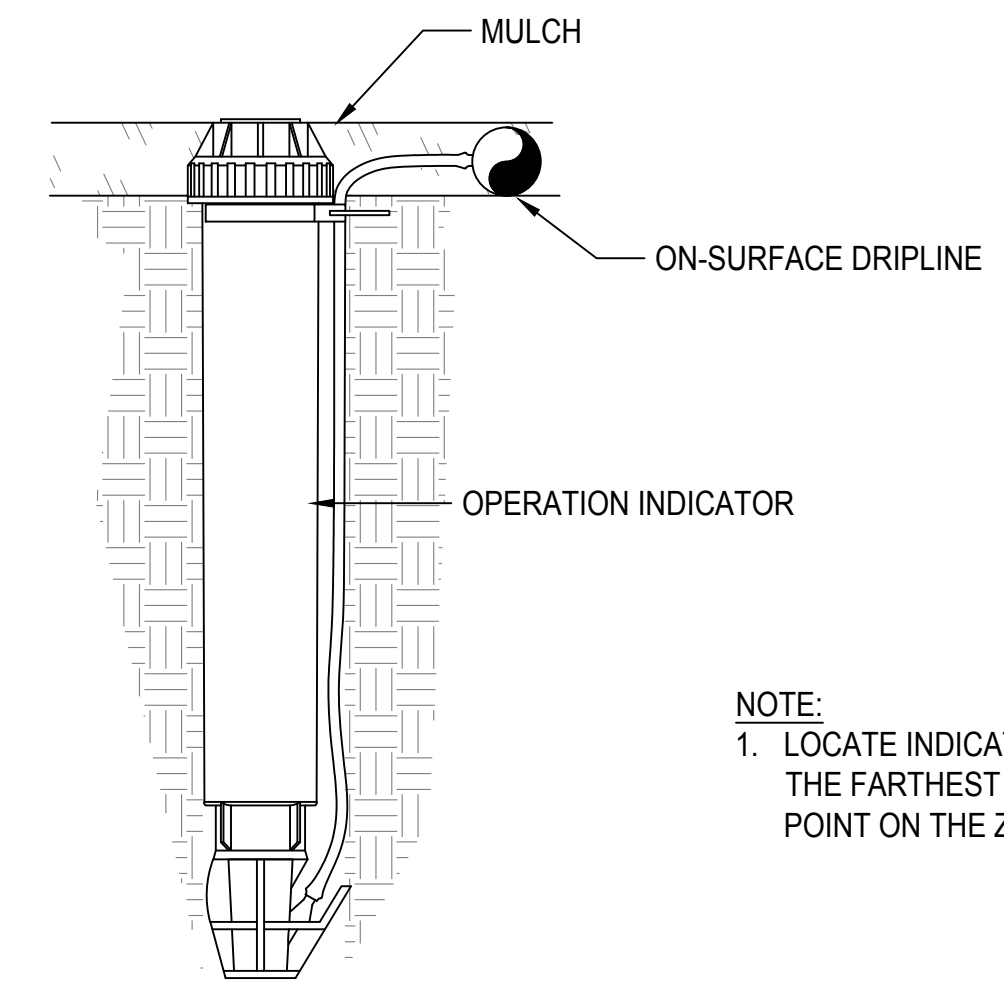
- NOTES:**
- HEAT BRAND LID W/GV. TYPICAL ON ALL BOXES.
 - GATE VALVE AND FITTINGS SHALL BE LINE SIZE UNLESS NOTED OTHERWISE.
 - PLACE 3/4" DIA. ROCK PRIOR TO INSTALLATION OF VALVE BOX.
 - USE TEFLON TAPE ON ALL THREADED FITTINGS.

2 ISOLATION GATE VALVE
SCALE: 3" = 1'-0"



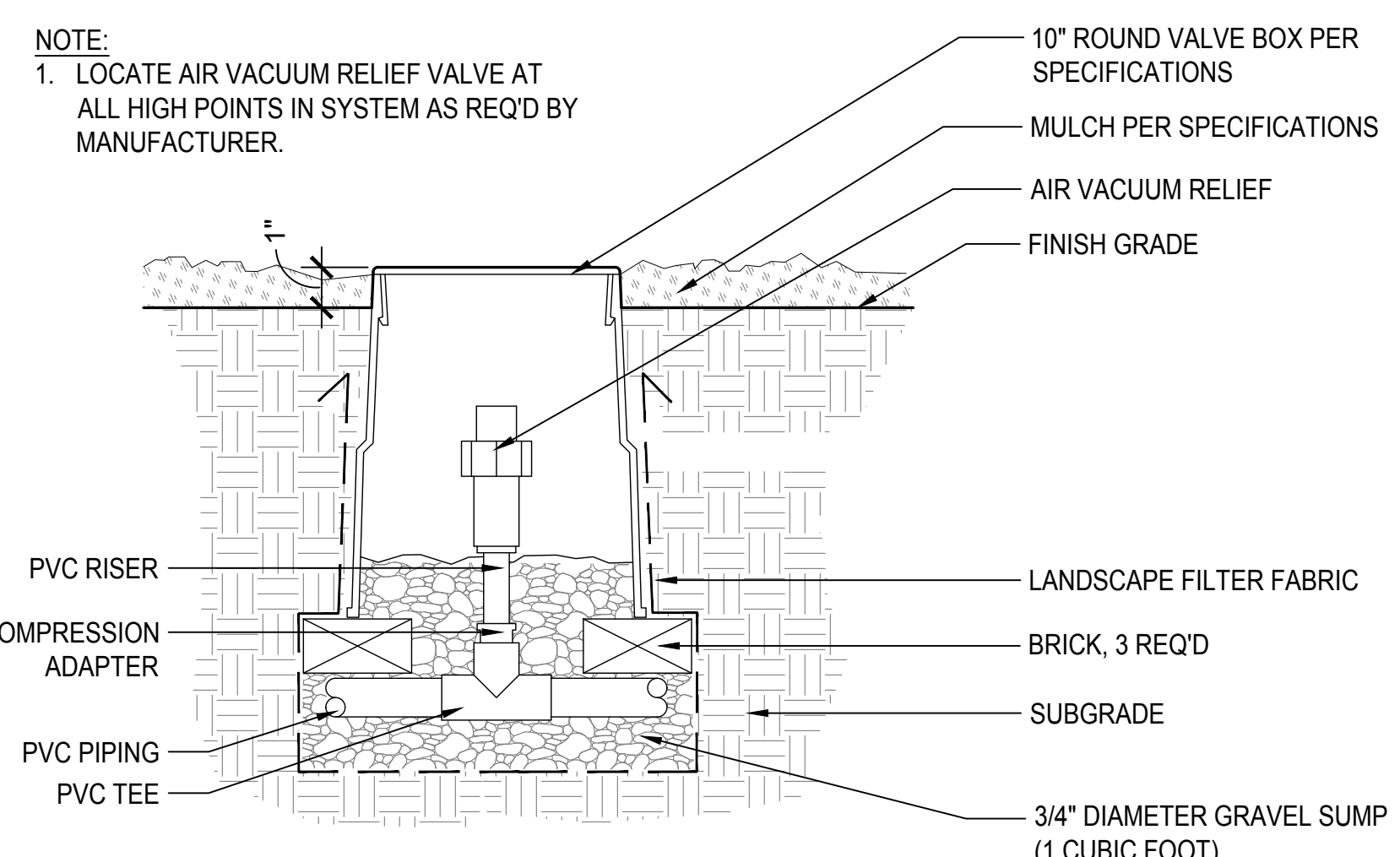
1 QUICK COUPLING VALVE
SCALE: 3" = 1'-0"

NOT FOR CONSTRUCTION



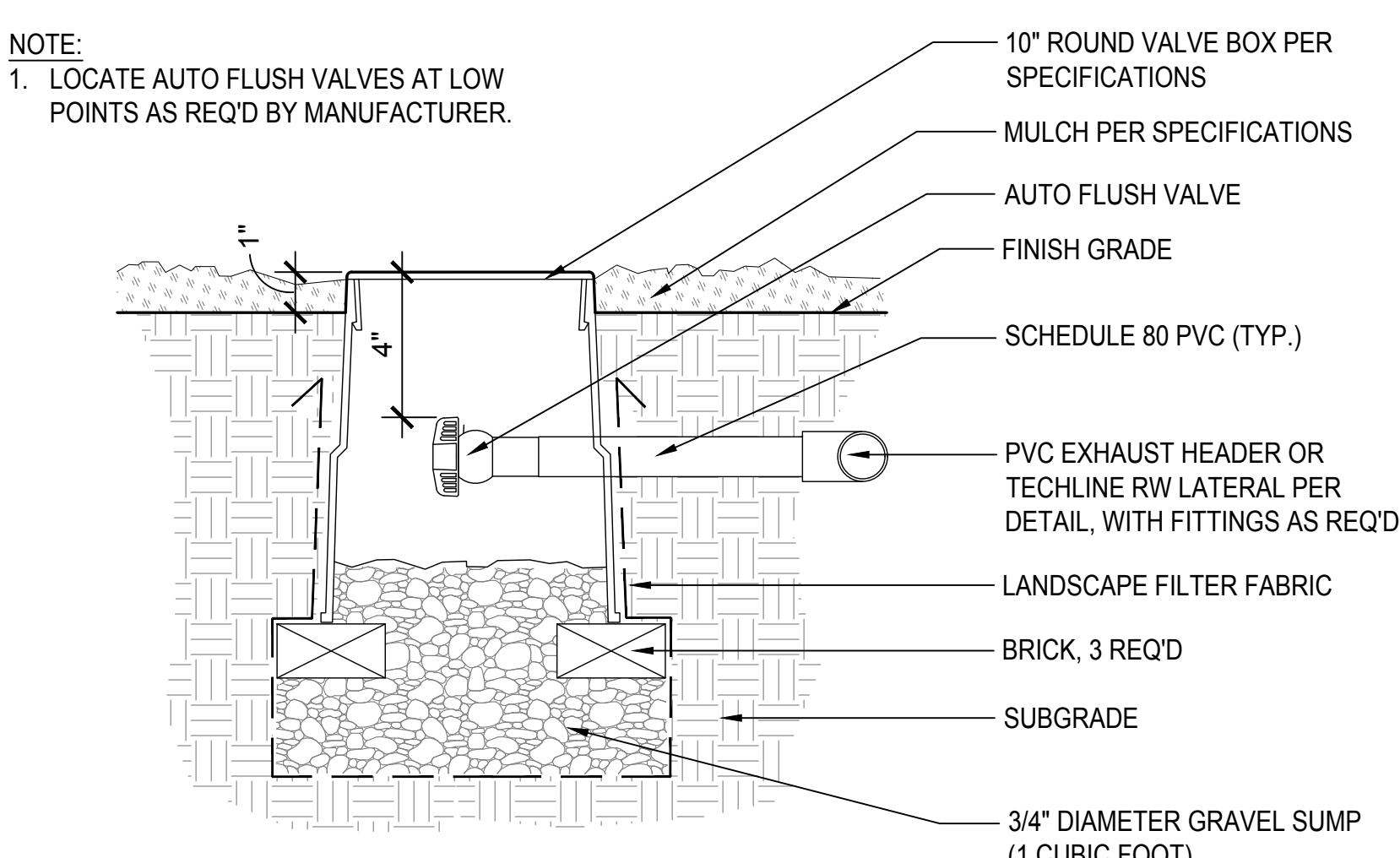
NOTE:
1. LOCATE INDICATOR STAKE AT THE FARTHEST AND/OR HIGHEST POINT ON THE ZONE.

3 DRIP OPERATION INDICATOR
NTS



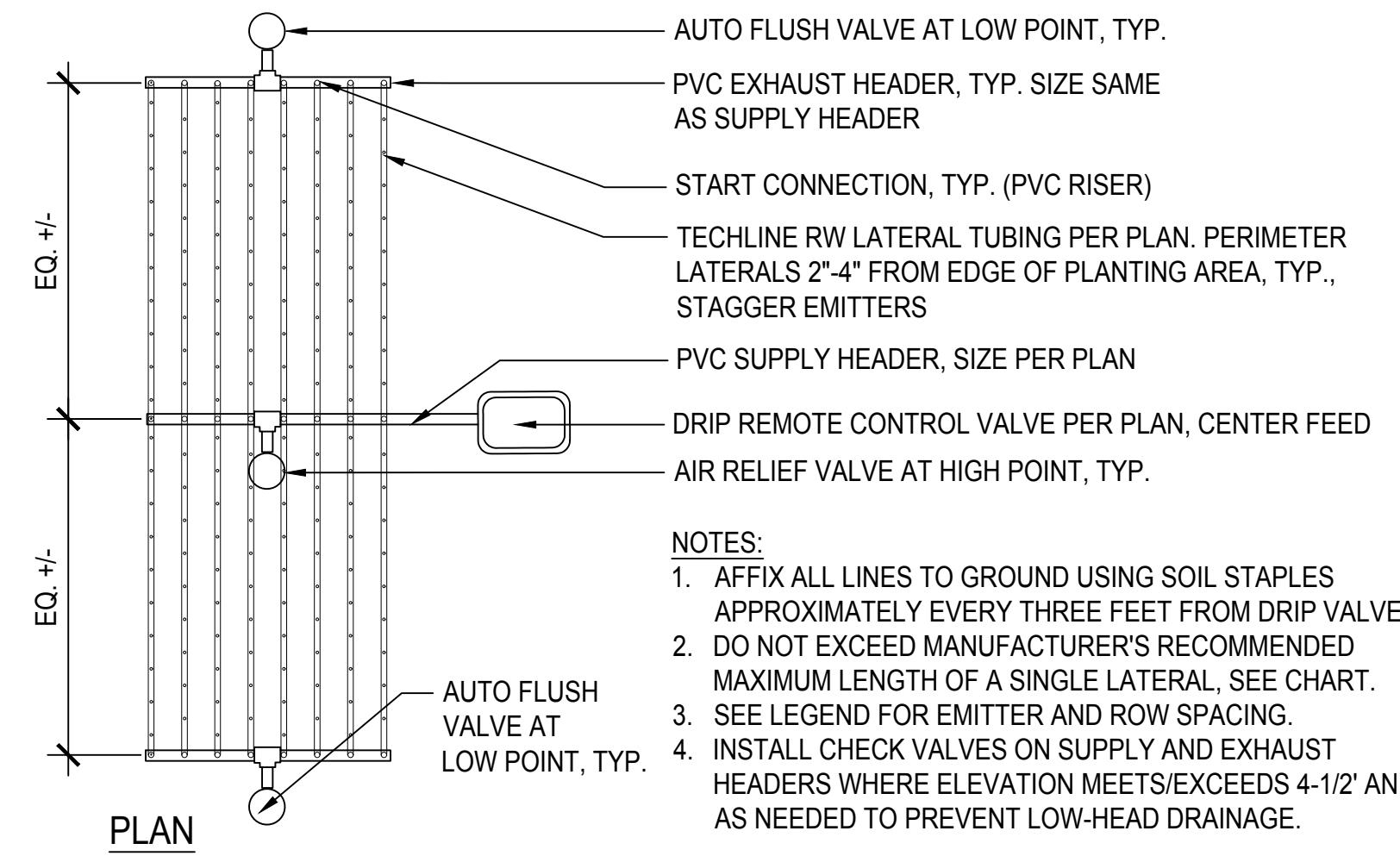
NOTE:
1. LOCATE AIR VACUUM RELIEF VALVE AT ALL HIGH POINTS IN SYSTEM AS REQ'D BY MANUFACTURER.

2 AIR VACUUM RELIEF VALVE
SCALE: NTS



NOTE:
1. LOCATE AUTO FLUSH VALVES AT LOW POINTS AS REQ'D BY MANUFACTURER.

1 AUTO FLUSH VALVE
SCALE: 3" = 1'-0"

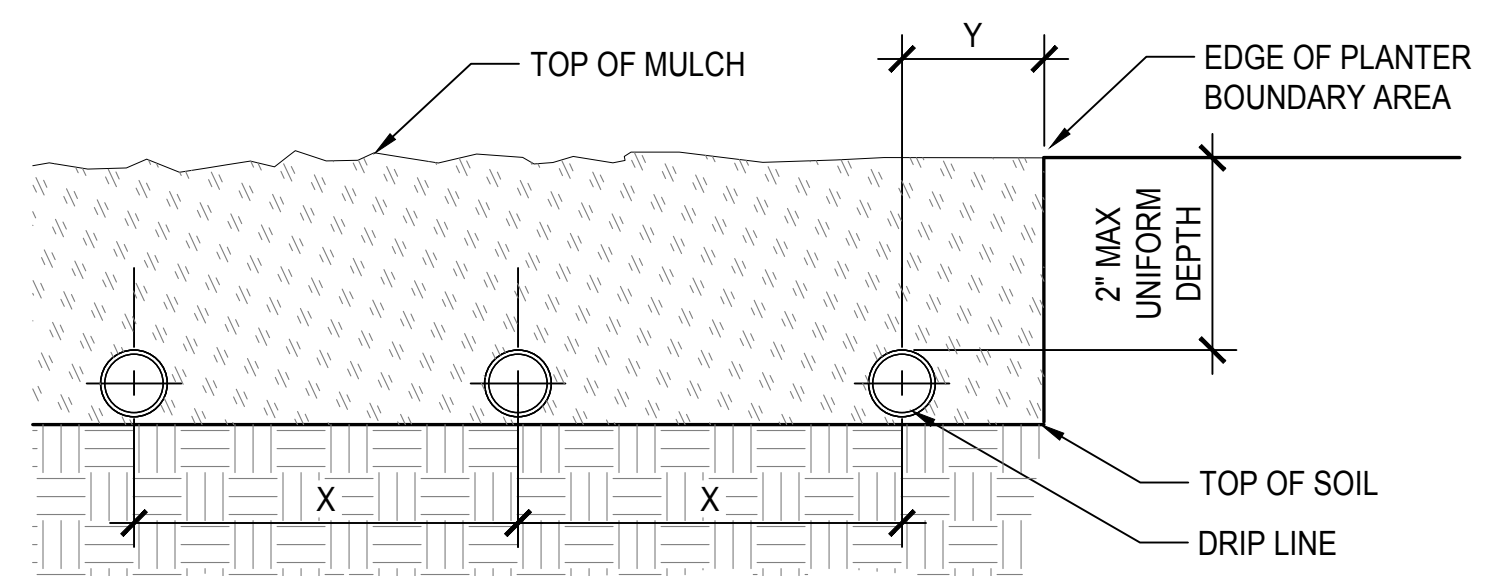


NOTES:
1. AFFIX ALL LINES TO GROUND USING SOIL STAPLES APPROXIMATELY EVERY THREE FEET FROM DRIP VALVE.
2. DO NOT EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM LENGTH OF A SINGLE LATERAL. SEE CHART.
3. SEE LEGEND FOR EMITTER AND ROW SPACING.
4. INSTALL CHECK VALVES ON SUPPLY AND EXHAUST HEADERS WHERE ELEVATION MEETS/EXCEEDS 4-1/2' AND AS NEEDED TO PREVENT LOW-HEAD DRAINAGE.

5 LINEAR DRIP TUBING LAYOUT
NTS

| X DIMENSION (INCHES) | Y DIMENSION (INCHES) |
|----------------------|----------------------|
| 12 | 4 OR 6 |

NOTES:
1. TYPICAL DIMENSIONS FOR DRIP LINE GRID LAYOUT IN PLANTING AREAS.
2. COORDINATE PLANTING INSTALLATION WITH GRID LAYOUT TO AVOID DAMAGE TO INSTALLED DRIP LINE AND TO PROVIDE UNIFORM IRRIGATION COVERAGE.
3. INSTALL DRIPLINE PARALLEL TO CONTOUR LINES.

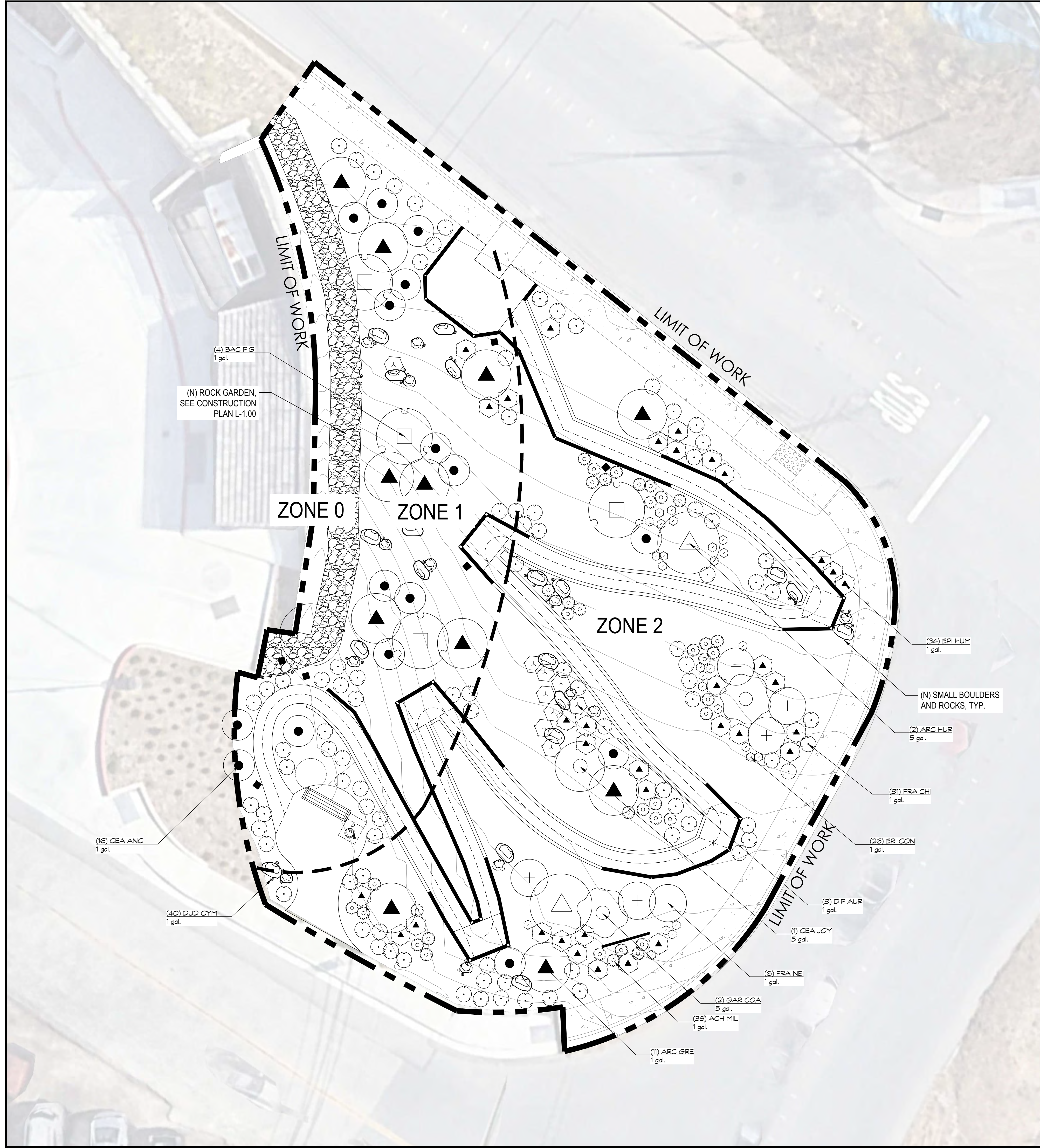


4 DRIP TUBING ON GRADE INSTALLATION
SCALE: 6" = 1'-0"

REVISIONS

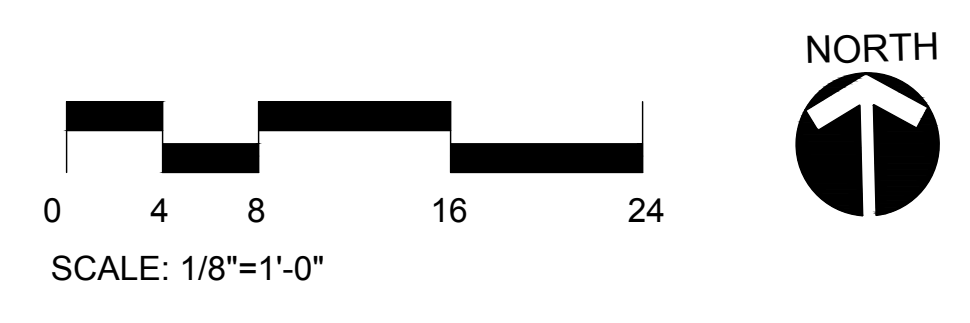
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**NOT FOR
CONSTRUCTION**



PLANT SCHEDULE

| SYMBOL | CODE | BOTANICAL / COMMON NAME | SIZE | QTY |
|---------------------|---------|--|--------|-----|
| SHRUBS | | | | |
| | ACH MIL | Achillea millefolium / Common Yarrow | 1 gal. | 38 |
| | ARC HUR | Arctostaphylos manzanita 'Dr. Hurd' / Dr. Hurd Common Manzanita | 5 gal. | 2 |
| | CEA JOY | Ceanothus x 'Joyce Coulter' / Joyce Coulter Wild Lilac | 5 gal. | 1 |
| | DIP AUR | Diplacus aurantiacus / Sticky Monkeyflower | 1 gal. | 9 |
| | EPI HUM | Epilobium canum / California Fuchsia | 1 gal. | 34 |
| | ERI CON | Eriophyllum confertiflorum / Golden Yarrow | 1 gal. | 26 |
| | FRA NEI | Frangula californica 'Eve Case' / Eve Case Coffeeberry | 1 gal. | 6 |
| | GAR COA | Garrya elliptica / Coast Silktassel | 5 gal. | 2 |
| GROUND COVER | | | | |
| | ARC GRE | Arctostaphylos uva-ursi 'Green Supreme' / Green Supreme Kinnikinnick | 1 gal. | 11 |
| | BAC PIG | Baccharis pilularis 'Pigeon Point' / Pigeon Point Coyote Brush | 1 gal. | 4 |
| | CEA ANC | Ceanothus gloriosus 'Anchor Bay' / Anchor Bay Point Reyes Ceanothus | 1 gal. | 16 |
| | FRA CHI | Fragaria chiloensis / Beach Strawberry | 1 gal. | 91 |
| SUCCULENTS | | | | |
| | DUD CYM | Dudleya cymosa / Canyon Liveforever | 1 gal. | 40 |

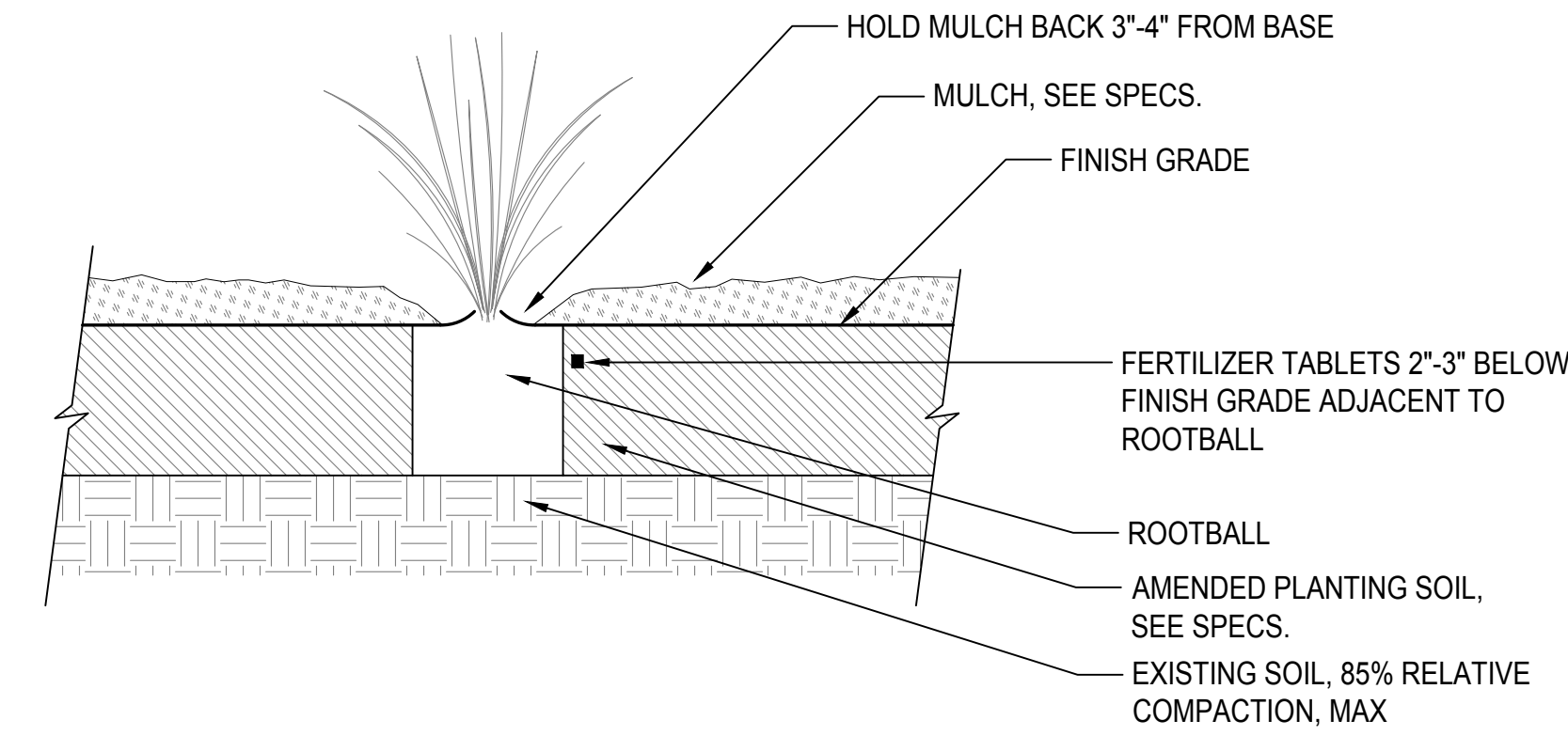


REVISIONS

| No. | Date | Description |
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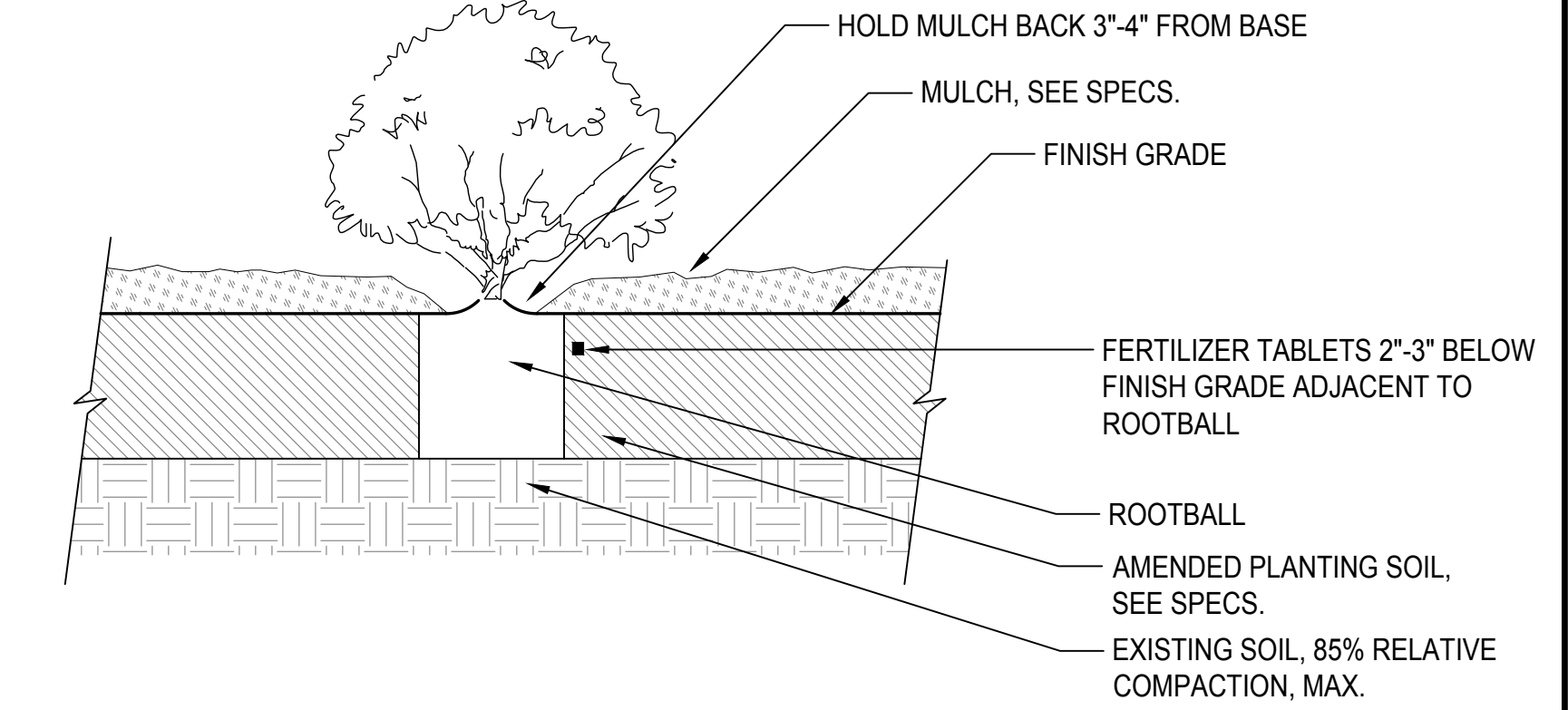
NOT FOR CONSTRUCTION

NOTE:
1. SEE SPECS FOR MORE INFORMATION REGARDING PLANT INSTALLATION AND SOIL PREPARATION.

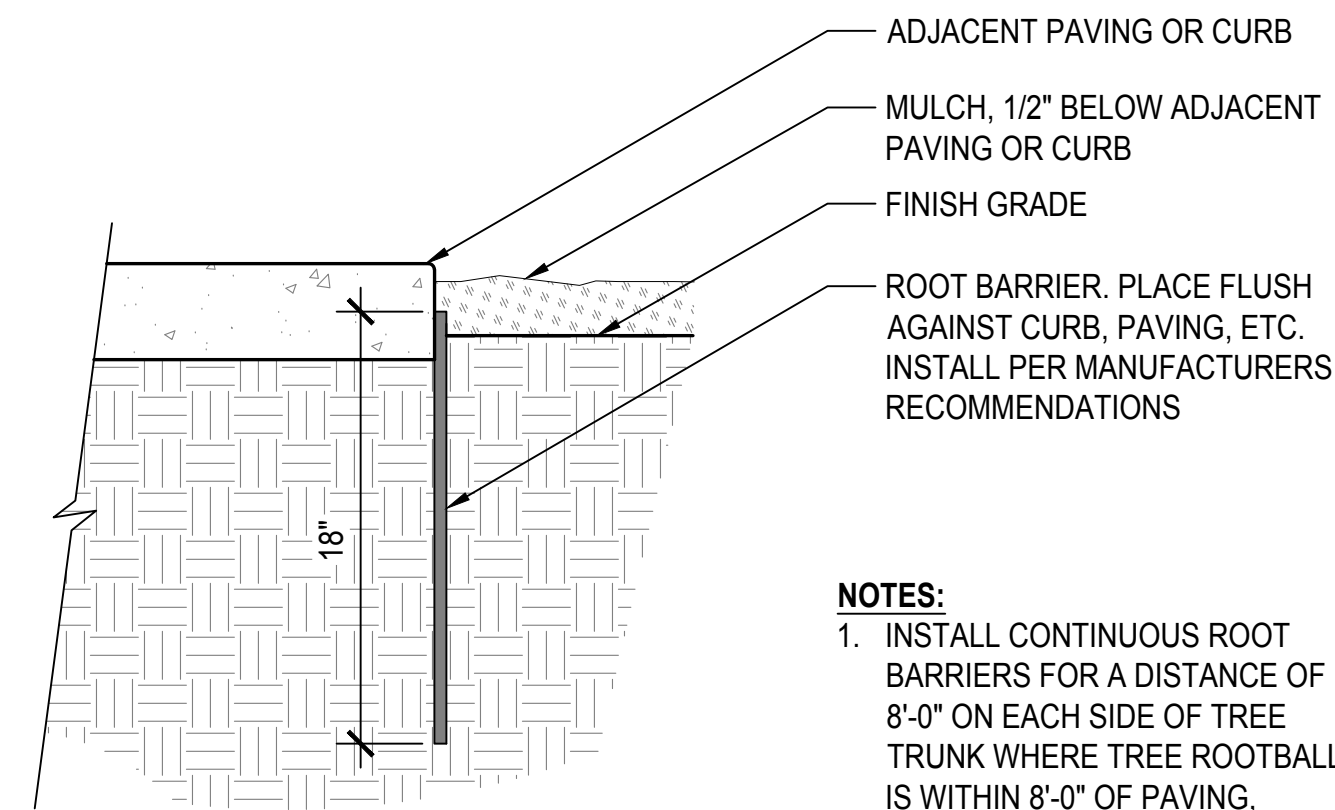


4 ORNAMENTAL GRASS PLANTING
SCALE: 1" = 1'-0"

NOTE:
1. SEE SPECS FOR MORE INFORMATION REGARDING PLANT INSTALLATION AND SOIL PREPARATION.

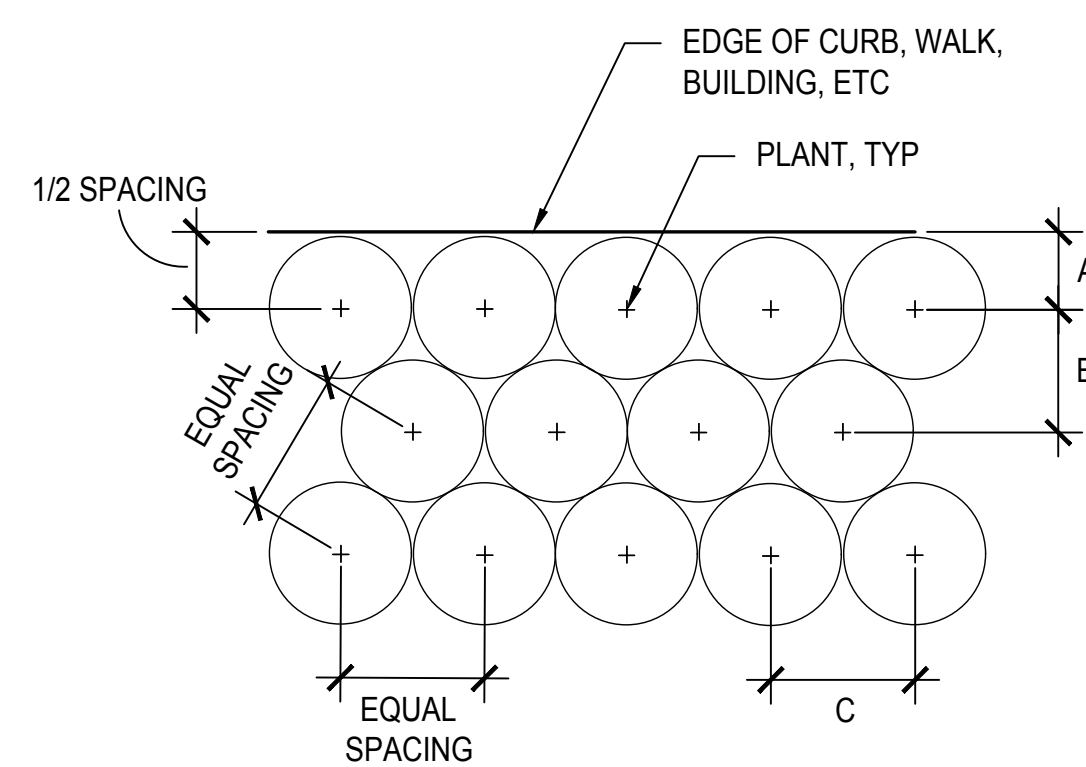


2 SHRUB PLANTING
SCALE: 1" = 1'-0"



NOTES:
1. INSTALL CONTINUOUS ROOT BARRIERS FOR A DISTANCE OF 8'-0" ON EACH SIDE OF TREE TRUNK WHERE TREE ROOTBALL IS WITHIN 8'-0" OF PAVING, CURB, ETC.

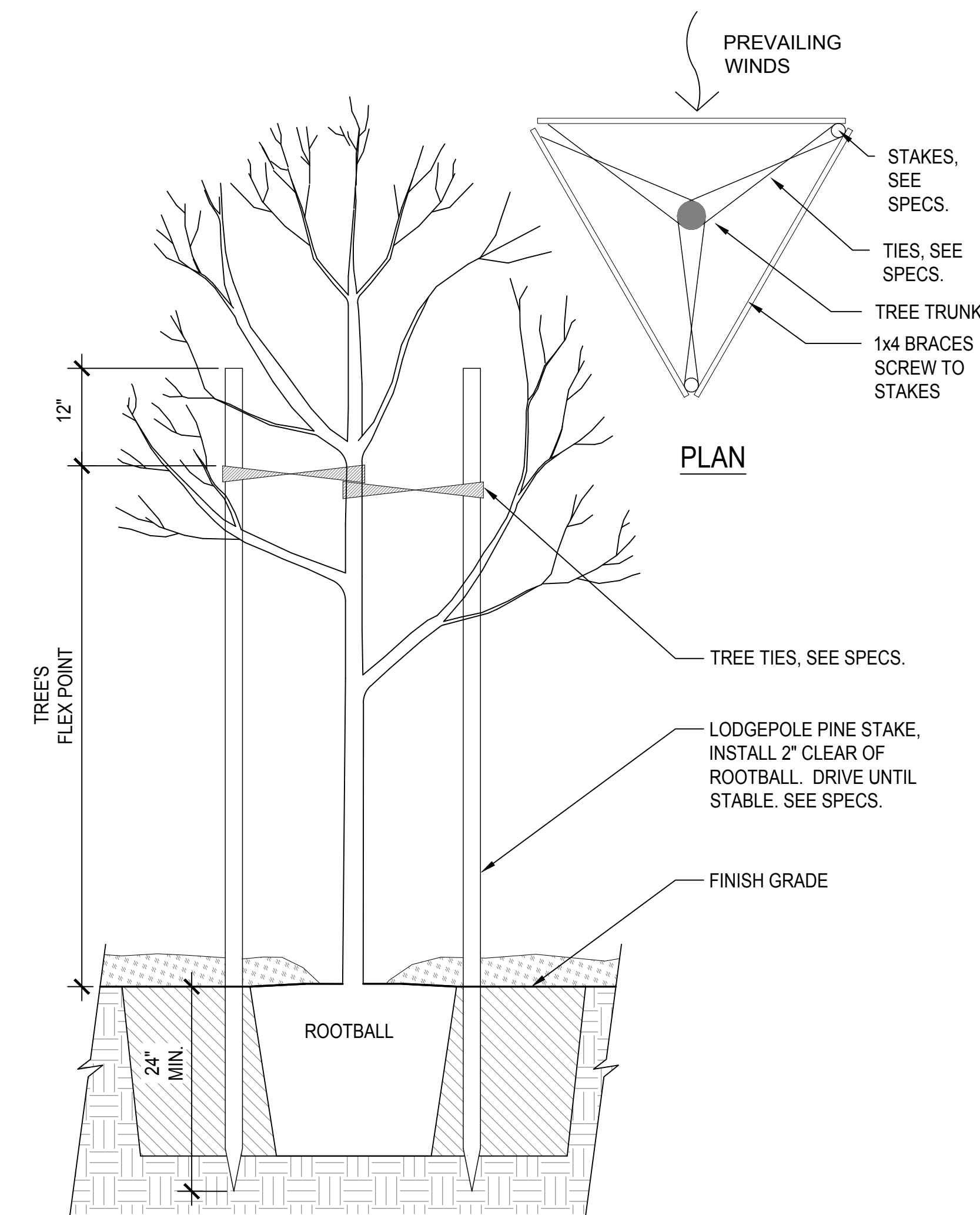
6 ROOT BARRIER
SCALE: 1-1/2" = 1'-0"



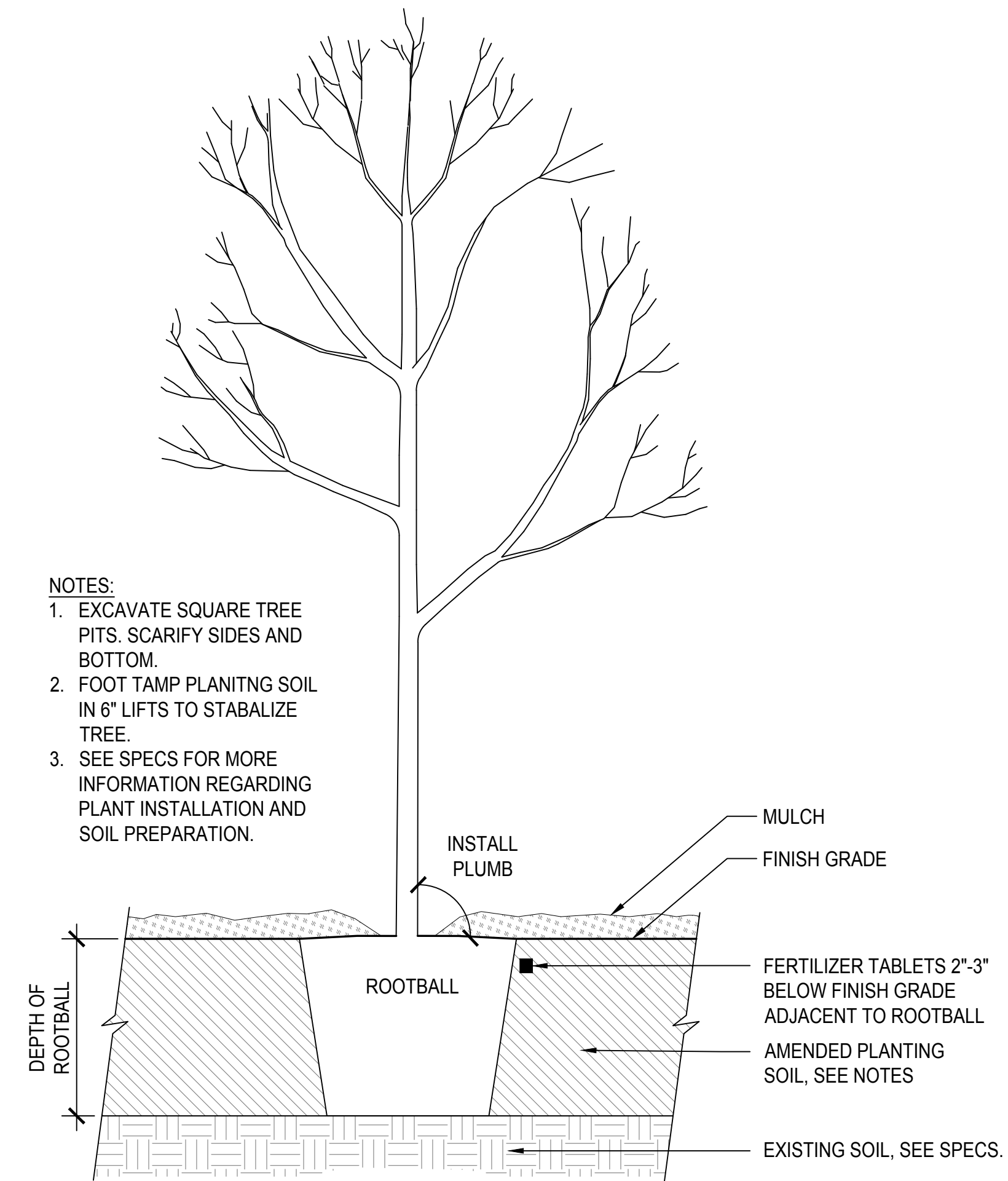
NOTES:
1. SEE PLANTING PLAN FOR SPACING BY PLANT SPECIES.
2. INSTALL TRIANGULATED PLANT LAYOUT, UNLESS OTHERWISE SHOWN ON PLANS.

| PLANT SPACING | A | B | C |
|---------------|-------|--------|-------|
| 12" | 6" | 10" | 12" |
| 1'-6" | 9" | 1'-4" | 1'-6" |
| 2'-0" | 12" | 1'-9" | 2'-0" |
| 2'-6" | 1'-3" | 2'-2" | 2'-6" |
| 3'-0" | 1'-6" | 2'-7" | 3'-0" |
| 3'-6" | 1'-9" | 3'-0" | 3'-6" |
| 4'-0" | 2'-0" | 3'-6" | 4'-0" |
| 4'-6" | 2'-3" | 3'-11" | 4'-6" |
| 5'-0" | 2'-6" | 4'-4" | 5'-0" |

5 PLANTING LAYOUT
NTS

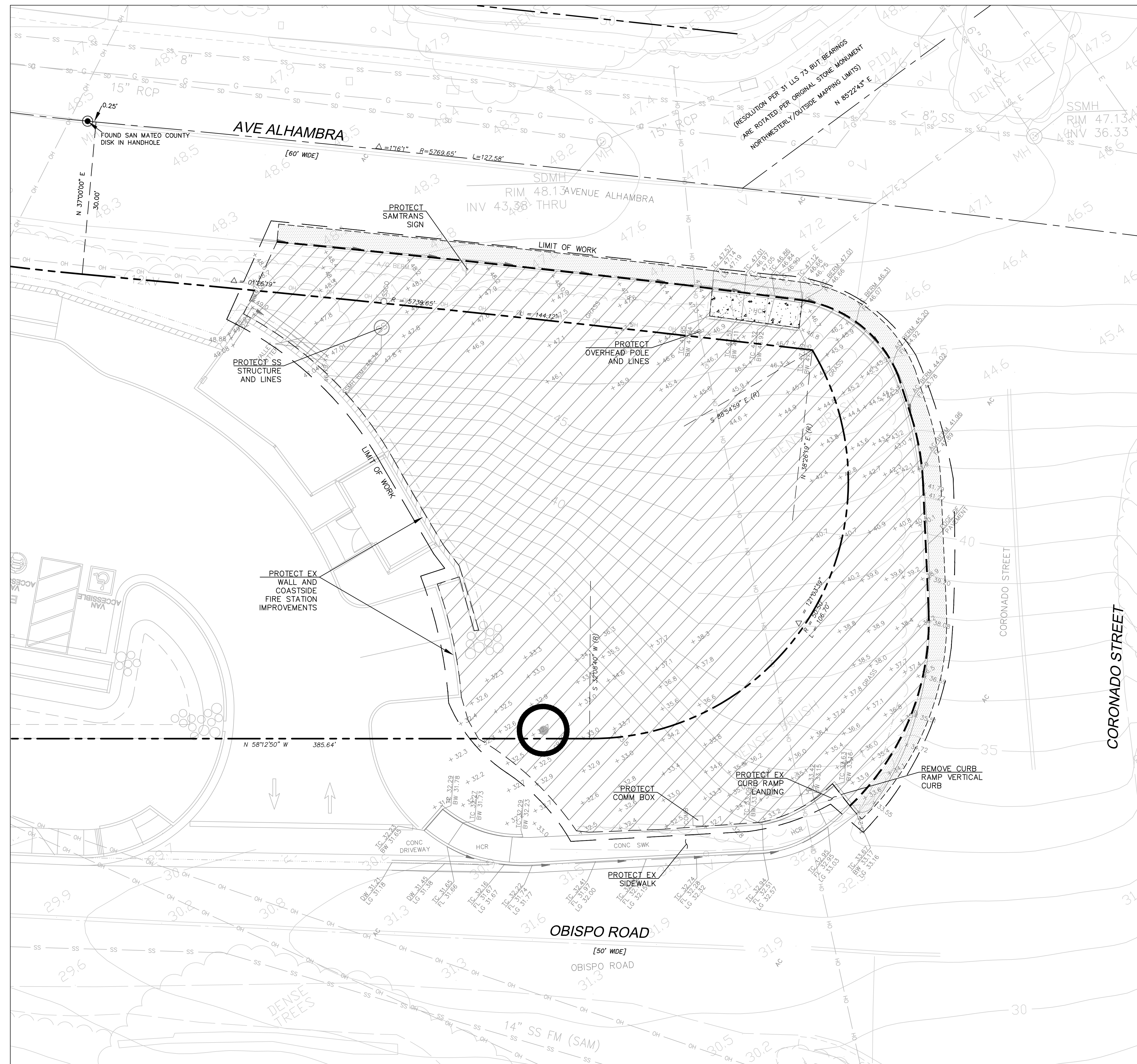


3 TREE STAKING
SCALE: 3/4" = 1'-0"



NOTES:
1. EXCAVATE SQUARE TREE PITS. SCARIFY SIDES AND BOTTOM.
2. FOOT TAMP PLANITNG SOIL IN 6" LIFTS TO STABILIZE TREE.
3. SEE SPECS FOR MORE INFORMATION REGARDING PLANT INSTALLATION AND SOIL PREPARATION.

1 TREE PLANTING
NTS



LEGEND

| | |
|---|-----|
| LIMIT OF WORK | --- |
| ROAD CENTER LINE | --- |
| PROPERTY LINE | --- |
| ADJ. PROPERTY LINE | --- |
| REMOVE EXISTING CURB & GUTTER, VERTICAL CURB, AC BERM | --- |
| REMOVE CURB RAMP, CONCRETE, & ASSOCIATED BASE ROCK | --- |
| CLEAR AND GRUB, FOR PLANTING SEE LANDSCAPE PLANS, | --- |
| REMOVE EXISTING ASPHALT & ASSOCIATED BASE ROCK | --- |
| EXISTING CONTOURS | --- |
| EXISTING STORM DRAIN LINES | SS |
| EXISTING SANITARY SEWER LINES | SS |
| EXISTING WATER LINE | W |
| EXISTING GAS LINE | -G- |
| EXISTING OVERHEAD LINE | OH |
| EXISTING TREE TO BE PRESERVED | ⊙ |

SURVEY NOTES

1. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 2. DATE OF THE FIELD SURVEY: NOVEMBER 8, 2023

BASIS OF BEARINGS
 BEARINGS SHOWN HEREON TAKEN FROM "PLAT OF RESUBDIVISION OF SUBDIVISIONS NO. 2 AND 3 OF GRANADA" WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 29 ON AUGUST 4, 1908, SAN MATEO COUNTY RECORDS.

SAID BASIS OF BEARINGS INFORMATION WAS TAKEN FROM THAT CERTAIN SURVEY PREPARED BY BGT LAND SURVEYING, JOB NO. 14-179 WITH A DATE OF FIELD SURVEY OF NOVEMBER 14, 2014.

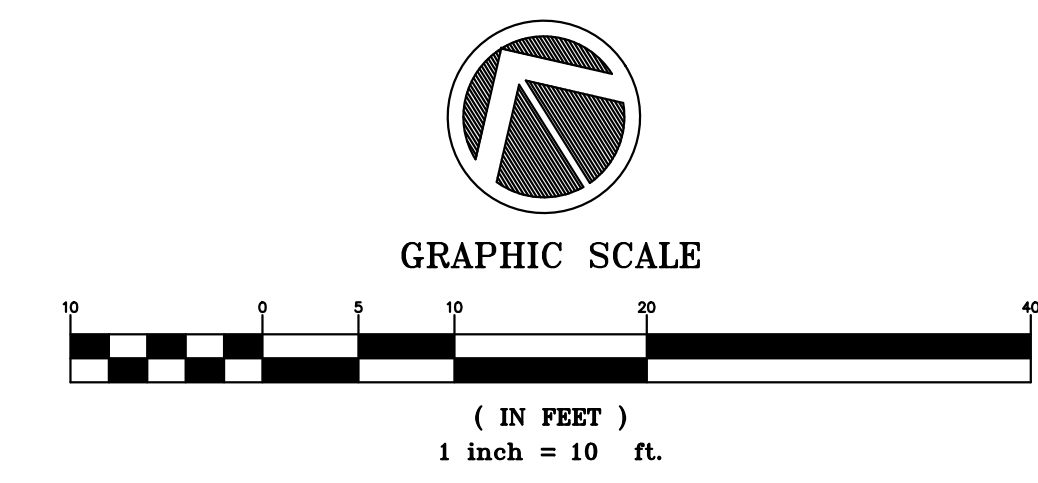
BENCHMARK
 ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK ON HEADWALL SOUTHWESTERLY OF SUBJECT PROPERTY "N 1240" (PID HT0453) WITH AN ELEVATION OF 19.98 FEET.

SAID BENCHMARK INFORMATION WAS TAKEN FROM THAT CERTAIN SURVEY PREPARED BY BGT LAND SURVEYING, JOB NO. 14-179 WITH A DATE OF FIELD SURVEY OF NOVEMBER 14, 2014.

DEMOLITION GENERAL NOTES

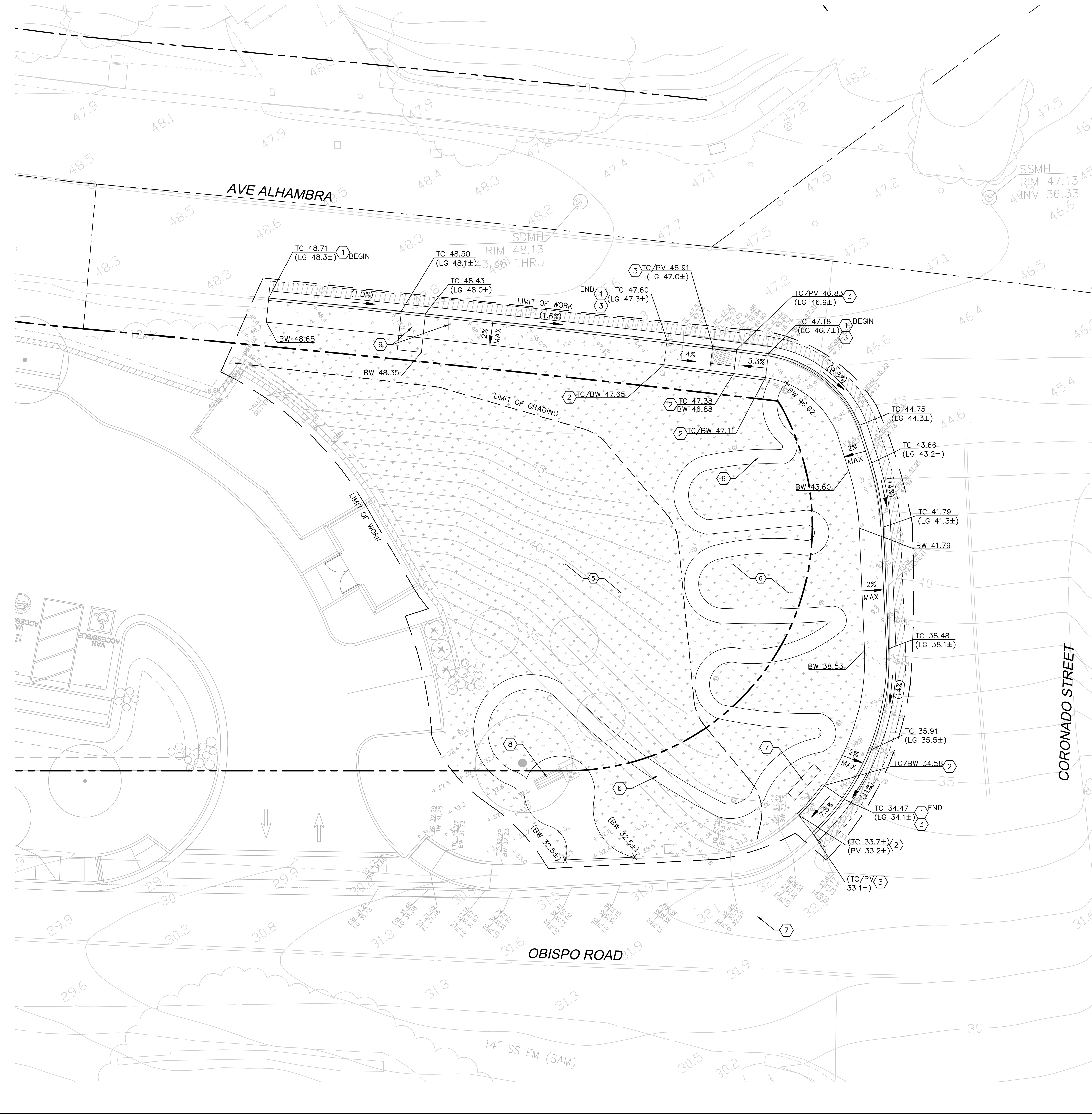
- THIS PLAN IS NOT INTENDED AS A COMPLETE CATALOG OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED.
- MIXED DEBRIS OF ANY TYPE MUST BE DISPOSED OF IN CONTAINERS PROVIDED AND SERVICED BY THE CITY'S FRANCHISED HAULER, SPECIALTY SOLID WASTE & RECYCLING (UNLESS REMOVED AND TRANSPORTED BY THE CONTRACTED COMPANY PROVIDING THE DEMOLITION/CONSTRUCTION SERVICE, UTILIZING THAT COMPANY'S OWN VEHICLES, CONTAINERS, AND EQUIPMENT).
- IF CONTRACTOR ENCOUNTERS UTILITIES OR ANY OTHER ITEMS THAT ARE NOT SHOWN ON THIS PLAN, THEY ARE TO CONTACT THE ENGINEER PRIOR TO REMOVING UTILITY. ITEMS SHOWN TO BE REMOVED ARE INDICATED PER INFORMATION AVAILABLE TO THE ENGINEER. IT IS THE INTENT OF THESE PLANS TO REMOVE OR ABANDON ALL ON-SITE EXISTING UTILITIES AND IMPROVEMENTS NECESSARY TO ALLOW CONSTRUCTION OF THE PROPOSED IMPROVEMENTS AND PROTECT THE ON-SITE UTILITIES AND STRUCTURES THAT ARE NOT IN THE PROJECT LIMIT OF WORK, WHETHER INDICATED ON THESE PLANS OR NOT. IT IS THE INTENTION OF THESE PLANS TO PROTECT ALL OFF-SITE EXISTING UTILITIES, WHETHER INDICATED ON THESE PLANS OR NOT, UNLESS OTHERWISE NOTED.
- CLEARING AND GRUBBING OF THE SITE INCLUDES THE REMOVAL OF GRASS, ROOTS, SHRUBS, TREE STUMPS, WEED GROWTH, VEGETATION, MASONRY, RUBBISH, DEBRIS, FOREIGN OBJECTS, FENCING, LANDSCAPING, ASPHALT AND PORTLAND CONCRETE PAVING, TREES, AND OTHER SITE CONSTRUCTION, AS REQUIRED TO PROVIDE A SITE SUITABLE FOR CONSTRUCTING THE PROPOSED PROJECT.
- CONTRACTOR SHALL PROTECT ALL IRRIGATION LINES AND APPURTENANCES, WHETHER INDICATED ON THIS PLAN OR NOT.
- ITEMS SHOWN TO BE REMOVED OR ABANDONED ARE INDICATED PER INFORMATION AVAILABLE TO THE ENGINEER. IT IS THE INTENTION OF THESE PLANS TO REMOVE OR ABANDON ALL EXISTING UTILITIES AND IMPROVEMENTS TO ALLOW CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, WHETHER INDICATED ON PLANS OR NOT.
- THE CONTRACTOR SHALL PROTECT EXISTING DRY UTILITY INSTALLATIONS, POLES, TRANSFORMERS, OVERHEAD LINES AND UTILITY VAULTS.
- CONTRACTOR TO REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL, CONSTRUCTION GENERAL PERMIT (CGP) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.

SCALE AND NORTH ARROW



NOT FOR CONSTRUCTION

Date Plotted: 12/1/2023 5:08 PM



LEGEND

| | |
|--|------------|
| LIMIT OF WORK | --- |
| LIMIT OF GRADING | --- |
| PROPERTY LINE | --- |
| ADJ. PROPERTY LINE | --- |
| VERTICAL CURB & GUTTER | --- |
| VERTICAL CURB (CURB RAMP) | --- |
| FLUSH CURB (CURB RAMP) | --- |
| CONCRETE SIDEWALK 4" PCC/4" CL2 AB PER SMO STD D-3 | --- |
| LANDSCAPING, SEE LANDSCAPE PLANS FOR PLANTING AND GRADING. | --- |
| EXISTING CONTOURS | --- |
| EXISTING ELEVATION | (TC 97.0±) |
| PROPOSED ELEVATION | TC 100.8 |
| SLOPE (HARDSCAPE) | --- |
| SLOPE (LANDSCAPE) | --- |

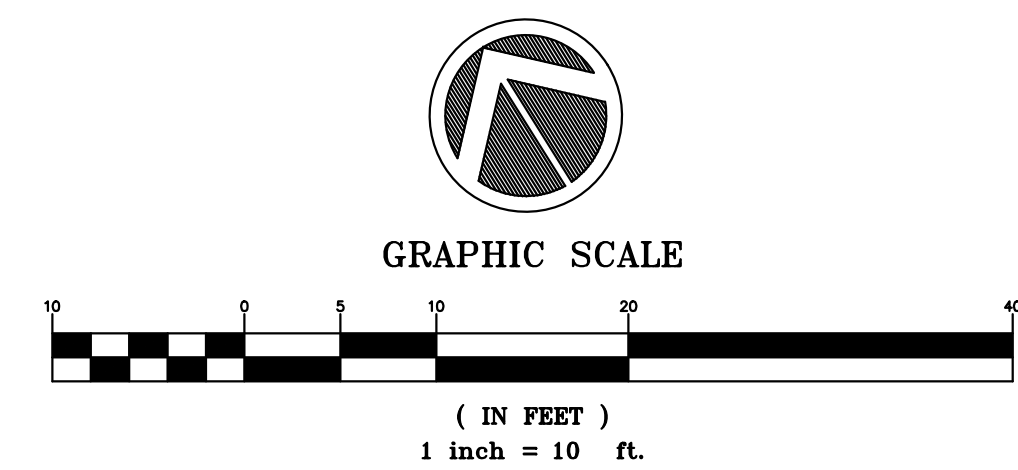
KEY NOTES

1. INSTALL CURB & GUTTER PER SMO STD D-3
2. INSTALL 6" VERTICAL CURB PER SMO STD D-3
3. INSTALL CURB RAMP PER CALTRANS STD PLAN RSP 88A, TYPE C
4. INSTALL 2' AC DEEP LIFT
5. EXISTING GRADING TO REMAIN. SEE LANDSCAPE PLANS FOR PLANTING.
6. DECOMPOSED GRANITE PATH AND LANDSCAPING AREA. SEE LANDSCAPE PLANS FOR GRADING AND DETAILS.
7. MONUMENT SIGN, FOOTING NOT TO CONFLICT WITH CURB RAMP. SEE LANDSCAPE PLANS
8. PEDESTRIAN BENCH. SEE LANDSCAPE PLANS
9. SAMTRANS BUS STOP ADA PASSENGER LOADING PAD, COORDINATE WITH SAMTRANS TO ADD MAP AND SCHEDULE TO THE EXISTING BUS STOP POLE ON AVENUE ALHAMBRA.

GRADING GENERAL NOTES

1. THIS PLAN PROVIDES GENERAL GRADING INFORMATION. ALL SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. EXPORTATION AND IMPORTATION OF SOIL, WHICH MAY BE NECESSARY TO MEET THE GRADES SHOWN ON THIS PLAN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PART OF THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING ANY SOIL THAT IS TO BE EXPORTED FROM THE PROJECT SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SOIL TESTING. IF THE EXISTING SOIL IS FOUND TO BE HAZARDOUS, IT SHALL BE TAKEN TO AN APPROVED FACILITY (CLASS I,II OR III).
3. ALL HIGH POINTS, LOW POINTS, OR GRADE BREAKS ON CONCRETE SURFACES SHALL HAVE A SMOOTH CURVE. CONCRETE SHALL NOT BE BUILT TO A POINT.
4. THE CONTRACTOR SHALL MATCH THE NEW GRADES WITHIN THE LIMITS OF WORK TO THE EXISTING GRADES WITHOUT DAMAGING THE EXISTING NATIVE GRASSES, FENCE LINE, TREES, OR EXISTING PAVING TO REMAIN, ALONG THE LIMIT LINE. ANY DAMAGE TO THESE AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S OWN EXPENSE.
5. UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS, IS COMPLETED AND APPROVED.
6. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
7. IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE SANTA CLARA COUNTY CORNER IMMEDIATELY.
8. ALL WALKWAYS SHALL HAVE A 2% MAX CROSS SLOPE.
9. NO GRADING OR STORAGE OF MATERIALS SHALL OCCUR UNDER THE TREE'S CANOPY AT ANY TIME, UNLESS OTHERWISE SPECIFY BY PLAN.

SCALE AND NORTH ARROW



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NOT FOR
CONSTRUCTION



Coastside Fire Protection District

STAFF REPORT

TO: Honorable Board of Directors

FROM: Jonathan Cox, Deputy Fire Chief

DATE: August 23, 2023

SUBJECT: DECIDE ON A LAND IMPROVEMENT OPTION FOR FIRE STATION 41 SOUTH LOT, LOCATED AT 555 OBISPO RD., EL GRANADA, CA, AND AUTHORIZE THE FIRE CHIEF TO PROCEED WITH CONSTRUCTION AND PERMITTING PLANS

Staff Recommendation

It is recommended that the Board review the two options for land improvements on the South Lot at Fire Station 41, located at 555 Obispo Rd., El Granada, CA and provide guidance to the Fire Chief on proceeding with construction and permitting plans.

Background and Discussion

The Coastside Fire Protection District entered into a Professional Services Agreement with RHAA Landscape Architects for design concepts for the unimproved South Lot at the new Fire Station 41, located at 555 Obispo Rd., El Granada, CA 94018 in 2022.

RHAA Architects worked with District Staff to finalize two Options for the South Lot. RHAA Landscape Architects presented both Options to the Board in September 2022. Since that meeting, a cost estimate was completed for both options.

The location of the South Lot is considered an entry point into the El Granada Community. Currently, the lot is relatively empty with minimal planting and no sidewalks. There is an existing bus stop on the east side and partially completed sidewalk along the west side. There is a heavily used dirt pathway along the side of the lot. It is a relatedly steep slope that feeds from the community down to the beach. The lot is used by pedestrians to get to and from the coast. The site has relatively clear view down to the coast.

Option 1 – Is a relatively minimal improvement with local plants that are consistent with the community. This option could include a sign. This option could include a sidewalk. The cost estimate for Option 1, with signage and sidewalks, is \$117,329.

Option 2 – Utilize the low/flat area just south of the Fire Station driveway to create a sitting/bench area for members of the community to utilize. This option would also include the updated native plants. Station signage and sidewalks are optional. The

Financial Impact

The District currently has \$350,000 in budgeted funds available for improvements at this location for FY 23/24.

Attachments

- Landscape Improvements Options Presentation
- Landscape Improvements Option 1
- Landscape Improvement Option 2
- Landscape Improvement Cost Estimate
- Title Preliminary Report
- Parcel Map 1
- Parcel Map 2

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HALF MOON BAY FIRE STATION

NORTH LOT

09.16.2022



SITE OBSERVATIONS

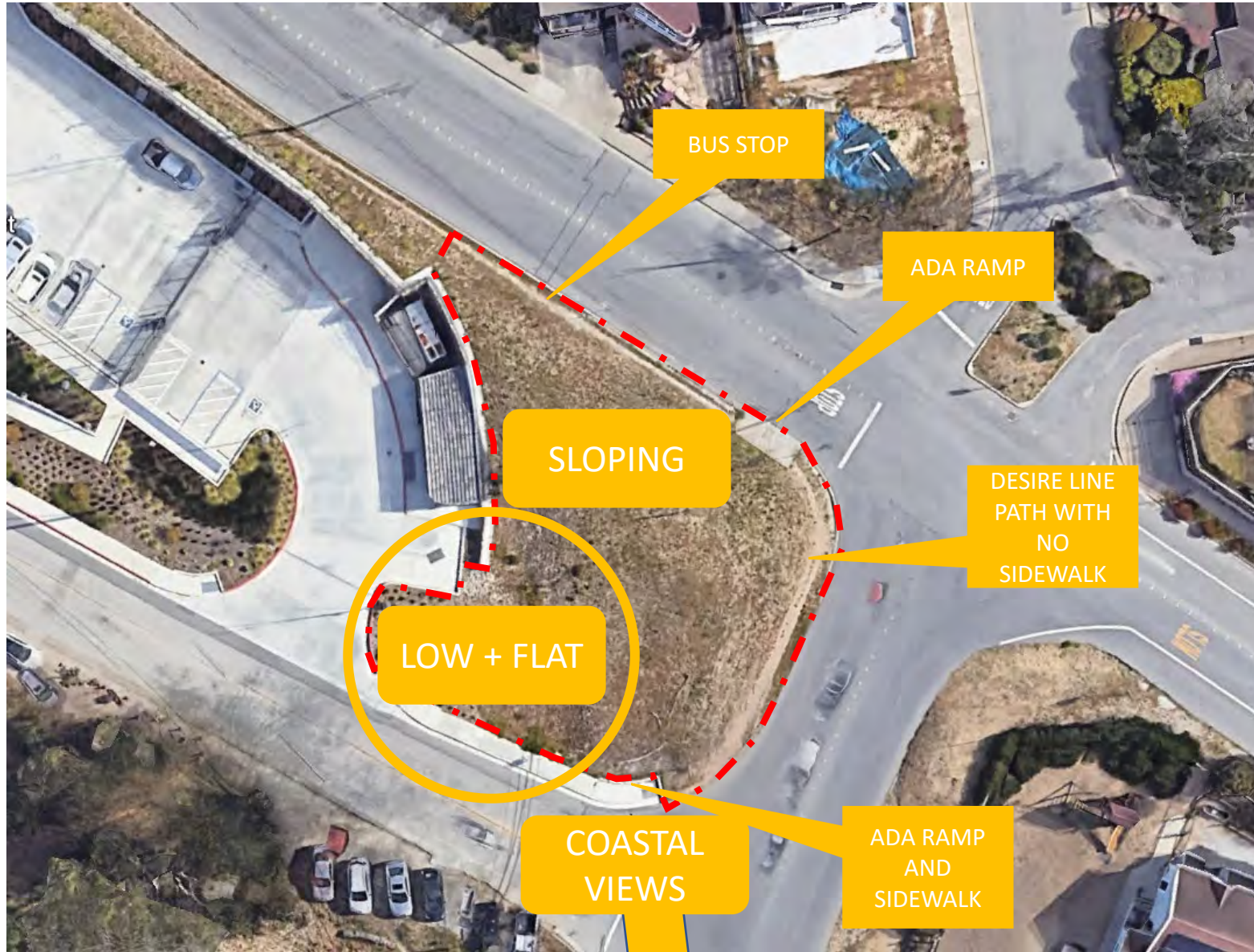


SITE OBSERVATIONS

- SLOPING TOWARDS COAST
- LIMITED FLAT LAND UPHILL FROM STATION
- FLAT ZONE AT BASE OF HILL
- DESIRE LINES FROM PEOPLE WALKING ALONG EDGE OF SITE.
- COASTAL VIEWS FROM ALL LOCATIONS



SITE OBSERVATIONS



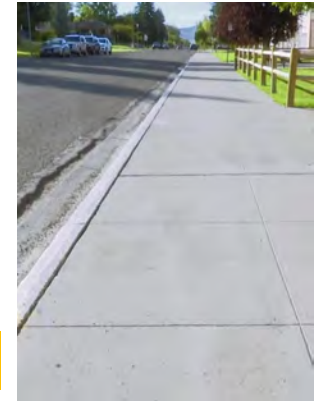
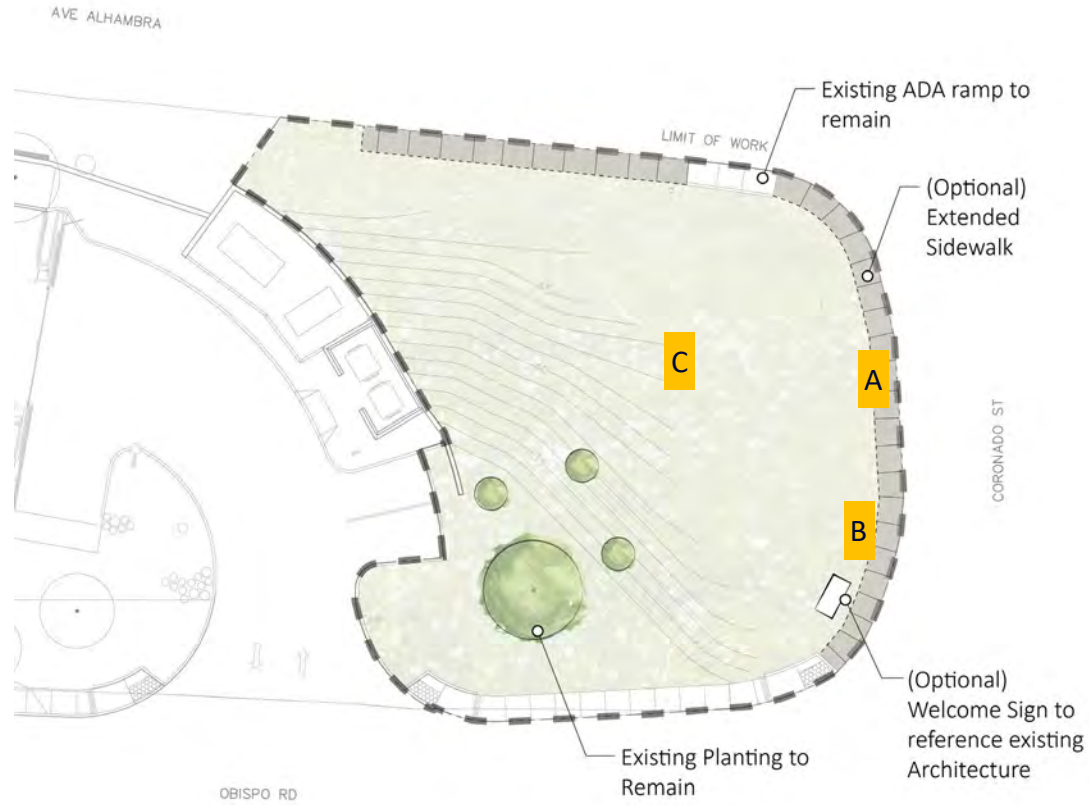
SITE OBSERVATIONS

- SLOPING TOWARDS COAST
- LIMITED FLAT LAND UPHILL FROM STATION
- FLAT ZONE AT BASE OF HILL
- DESIRE LINES FROM PEOPLE WALKING ALONG EDGE OF SITE.
- COASTAL VIEWS FROM ALL LOCATIONS

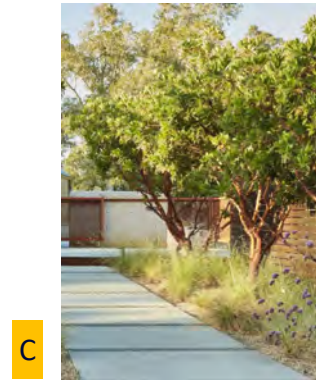


VIEW FROM FLAT AREA AT BASE OF HILL

OPTION 1



- NEW PLANTING AND IRRIGATION
- COMMUNITY WELCOME SIGN (OPTIONAL)
- EXTENDED SIDEWALK (OPTIONAL)



OPTION 2



A



B



- **MEMORIAL**
- **ADA ACCESSIBLE BENCH SEAT**
- **PLANTING AND IRRIGATION**
- **COMMUNITY WELCOME SIGN (OPTIONAL)**
- **EXTENDED SIDEWALK (OPTIONAL)**

C



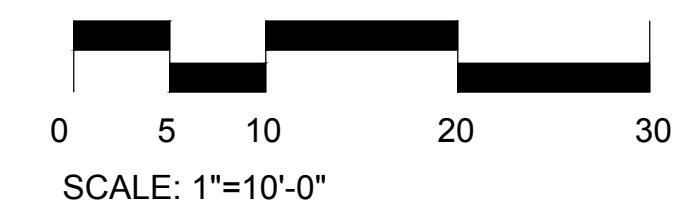
PLANT SCHEDULE

| PLANTING - 6,430 SF | | |
|---------------------|-----------|-----|
| | SIZE | QTY |
| | 1 GALLON | 500 |
| | 5 GALLON | 200 |
| | 15 GALLON | 80 |

NOTE:
PLANTING QUANTITIES ARE APPROXIMATE
AND SUBJECT TO CHANGE.

PLANTING NOTES

- REFER TO SPECIFICATIONS FOR SOIL PREPARATION, PLANTING, AND MAINTENANCE PERIOD REQUIREMENTS.
- CONTRACTOR TO REFER TO PLANT LIST FOR PLANT SIZE AND SPACING. USE TRIANGULAR SPACING UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES SHOWN IN PLANTING PLANS.
- CONTRACTOR TO SUBMIT PLANT SAMPLES FOR APPROVAL BY LANDSCAPE ARCHITECT, SEE SPECS.
- LANDSCAPE ARCHITECT TO INSPECT PLANTING LAYOUT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE 10' X 10' MOCKUP OF ALL PLANT MIXES FOR APPROVAL BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES, STRUCTURES, AND IRRIGATION LINES BEFORE DIGGING.
- GROUNDCOVERS ARE TO EXTEND UNDER TREE AND SHRUB PLANTINGS FOR FULL COVERAGE. SPACE GROUNDCOVER 18" AWAY FROM TREES AND 12" AWAY FROM SHRUBS.
- SEE GRADING PLAN FOR FINISH GRADES. ALL FINISH GRADES REFER TO FINISH GRADE OF MULCHED LANDSCAPE.
- ALL PLANTING AREAS, PLANTERS, AND POTS TO RECEIVE 3" OF MULCH, SEE SPECS.



PROJECT/CLIENT NAME

**COASTSIDE FIRE
PROTECTION DISTRICT
FIRE STATION #41**

OBISPO ROAD, EL
GRANADA, CA, 94018

PROJECT NUMBER

22103A

CONSULTANT

SUBMITTAL

**SCHEMATIC
DESIGN**

DATE

3RD NOVEMBER 2022

REVISIONS

| No. | Date | Description |
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REGISTRATION AND SIGNATURE

NOT FOR
CONSTRUCTION

SHEET TITLE

**LANDSCAPE PLAN
OPTION 1**

DRAWN BY: MY

CHECKED BY: KM

L-100

REVISIONS

| No. | Date | Description |
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CONSTRUCTION

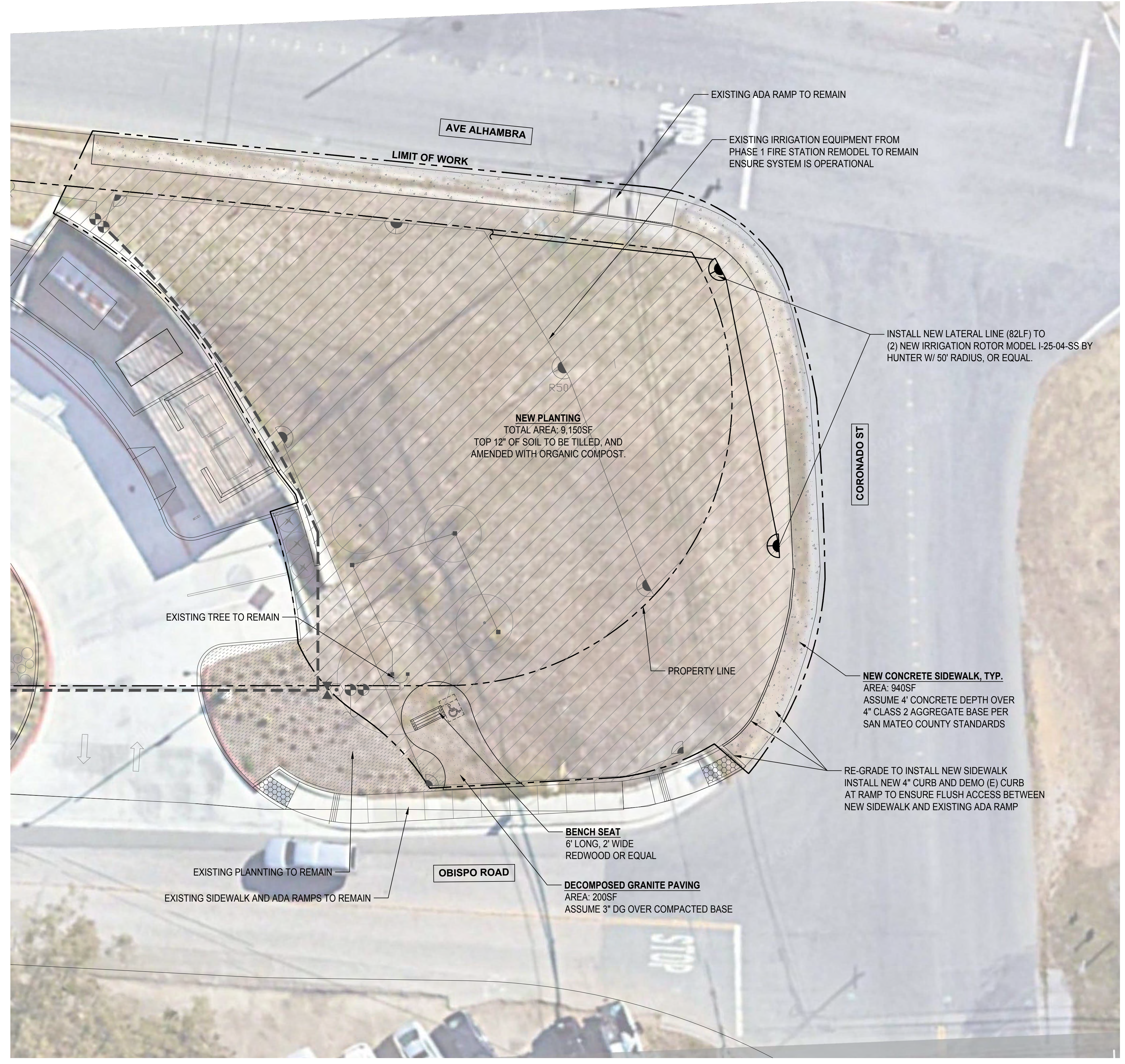
PLANT SCHEDULE

| PLANTING - 9,150 SF | | |
|---------------------|-----------|-----|
| | SIZE | QTY |
| | 1 GALLON | 700 |
| | 5 GALLON | 300 |
| | 15 GALLON | 120 |

NOTE:
PLANTING QUANTITIES ARE APPROXIMATE
AND SUBJECT TO CHANGE.

PLANTING NOTES

- REFER TO SPECIFICATIONS FOR SOIL PREPARATION, PLANTING, AND MAINTENANCE PERIOD REQUIREMENTS.
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- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES, STRUCTURES, AND IRRIGATION LINES BEFORE DIGGING.
- GROUNDCOVERS ARE TO EXTEND UNDER TREE AND SHRUB PLANTINGS FOR FULL COVERAGE. SPACE GROUNDCOVER 18" AWAY FROM TREES AND 12" AWAY FROM SHRUBS.
- SEE GRADING PLAN FOR FINISH GRADES. ALL FINISH GRADES REFER TO FINISH GRADE OF MULCHED LANDSCAPE.
- ALL PLANTING AREAS, PLANTERS, AND POTS TO RECEIVE 3" OF MULCH, SEE SPECS.



HALF MOON BAY FIRE STATION #41
NORTH LOT
HALF MOON BAY, CA 94019

SCHEMATIC COST OPINION

11/8/2022



COST CONSULTANT
CROMB ASSOCIATES
51 BAY VISTA DRIVE
MILL VALLEY, CA 94941.
(415) 279 1996

ARCHITECT

RHAA
LANDSCAPE ARCHITECTURE + PLANNING
225 MILLER AVENUE
MILL VALLEY, CA 94941

CONTENTS

INTRODUCTION - 3

MAIN SUMMARY - 4

QUANTITY TAKE OFF - 5 - 8

DRAWINGS - 9-10

INTRODUCTION

THIS OPINION OF COST IS BASED ON THE FOLLOWING INFORMATION:

Half Moon Bay Fire Station #41 plans, Option 1 and Option 2, (1 sheet each), prepared by RHAA, dated 3rd November 2022.

No structural plans, or specification were received.

Discussions and emails from the design team.

THE FOLLOWING ITEMS HAVE BEEN EXCLUDED FROM THIS ESTIMATE:

Escalation. Estimate is priced in today's dollars.

Work outside normal working hours.

Phasing

Retaining walls

Memorial

Signage

Work outside the limit of work boundary shown on the Plans.

Construction contingency for change orders and the like.

Professional fees, Utility fees, testing, permits, and inspection costs.

THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE IN THE PREPARATION OF THIS ESTIMATE:

The Contractor will be given full access and a reasonable time to construct the project, with no substantial liquidated damages.

The project will go out to open bid with at least four complete bids received.






GENERAL:

This estimate is based on the measurement and pricing of quantities where possible, where measurement was not possible, reasonable allowances have been made to cover the probable scope of work. It is recommended that the design team examine any allowances in order to confirm that the assumed scope is appropriate. Items with a lump sum (LS) are generally allowances.

The information contained herein is based on professional judgment made by experts familiar with the construction industry. Due to the myriad of outside factors that may affect any construction cost, including the status of the economy, and the number of interested bidders, Cromb Associates does not guarantee that the final cost will not vary from that specified in this opinion of probable cost.

Please address all questions and comments to:

CROMB ASSOCIATES
ATT: David Cromb
51 BAY VISTA DRIVE
MILL VALLEY, CA 94941.
(415) 279 1996

| Element | OPTION 1 | OPTION 2 |
|---|--------------------------|--------------------------|
|  SITE PREPARATION. | - | 24,916 |
|  PAVING / FLATWORK | - | 36,072 |
|  SITE FURNISHINGS | - | 1,200 |
|  PLANTING AND SOIL PREPARATION | 81,140 | 116,848 |
|  IRRIGATION SYSTEM | 2,488 | 5,033 |
| SUBTOTAL | 83,628 | 184,069 |
| GENERAL CONDITIONS (12%) | 10,035 | 22,088 |
| OVERHEAD, PROFIT, INSURANCE, BONDING (10%) | 8,363 | 18,407 |
| NET COST \$ | 102,026 | 224,564 |
| DESIGN CONTINGENCY (15%) | 15,304 | 33,685 |
| ESCALATION (Today's \$) | - | - |
| <u>GRAND TOTAL</u> | <u>\$ 117,329</u> | <u>\$ 258,249</u> |

| Line # | Description | Quantity | Unit | rate | Est. cost | Comments / Subtotal. |
|--------|--------------------------------------|----------|------|---------|-----------|----------------------|
| 1 | SITE PREPARATION. | | | | | |
| 2 | No work | | | | | |
| 3 | | | | | | |
| 4 | SITE PREPARATION - SUBTOTAL | | | | | \$ - |
| 5 | | | | | | |
| 6 | PAVING / FLATWORK | | | | | |
| 7 | No work | | | | | |
| 8 | | | | | | \$ - |
| 9 | | | | | | |
| 10 | SITE FURNISHINGS | | | | | |
| 11 | No work | | | | | |
| 12 | | | | | | \$ - |
| 13 | | | | | | |
| 14 | PLANTING AND SOIL PREPARATION | | | | | |
| 15 | | | | | | |
| 16 | Landscape | | | | | |
| 17 | Soil testing | 1 | ls | 700.00 | 700 | |
| 18 | Till 12" / amendments | 6,430 | sf | 0.65 | 4,180 | |
| 19 | Mulch | 6,430 | sf | 2.00 | 12,860 | |
| 20 | Shrubs: | | | | | |
| 21 | 15 Gal | 80 | ea | 175.00 | 14,000 | |
| 22 | 5 Gal | 200 | ea | 90.00 | 18,000 | |
| 23 | 1 Gal | 500 | ea | 55.00 | 27,500 | |
| 24 | Trees: | | | | | |
| 25 | Protect (e) | 4 | ea | 100.00 | 400 | |
| 26 | Ground cover | None | | | | |
| 27 | Landscape maintenance (90 days) | 1 | ls | 3500.00 | 3,500 | |
| 28 | | | | | | \$ 81,140 |
| 29 | | | | | | |
| 30 | IRRIGATION SYSTEM | | | | | |
| 31 | | | | | | |
| 32 | Complete irrigation system | | | | | |
| 33 | POC | | | | | NIC Existing |
| 34 | Controller, program (e) | | | | | NIC Existing |
| 35 | Lateral | 35 | lf | 45.00 | 1,575 | |
| 36 | Pipe-Wire trace | 35 | lf | 1.50 | 53 | |

| Line # | Description | Quantity | Unit | rate | Est. cost | Comments / Subtotal. |
|--------|---------------------------------------|----------|------|--------|---------------|----------------------|
| 37 | Rotor sprinkler Test | 1 | ea | 360.00 | 360 | |
| 38 | | 1 | ls | 500.00 | 500 | |
| 39 | | | | | | \$ 2,488 |
| 40 | | | | | | |
| 41 | <u>SUBTOTAL BEFORE MARK UP</u> | | | | 83,628 | |

| Line # | Description | Quantity | Unit | rate | Est. cost | Comments / Subtotal. |
|--------|---|----------|------|----------|-----------|----------------------|
| 1 | SITE PREPARATION. | | | | | |
| 2 | Demolish and remove off site (e): | | | | | |
| 3 | Saw cut (e) asphalt | 196 | lf | 10.00 | 1,960 | |
| 4 | Concrete curb | 138 | lf | 12.00 | 1,656 | |
| 5 | Site Preparation | | | | | |
| 6 | Excavate, remove, prep, level area for sidewalk | 4,700 | sf | 4.00 | 18,800 | |
| 7 | Erosion Control / SWPPP | 1 | ls | 2,500.00 | 2,500 | |
| 8 | | | | | | |
| 9 | SITE PREPARATION - SUBTOTAL | | | | | \$ 24,916 |
| 10 | | | | | | |
| 11 | PAVING / FLATWORK | | | | | |
| 12 | Paving: | | | | | |
| 13 | Concrete paving sidewalk | 940 | sf | 25.00 | 23,500 | |
| 14 | Curb and gutter | 196 | lf | 45.00 | 8,820 | |
| 15 | Decomposed granite | 200 | lf | 7.00 | 1,400 | |
| 16 | Asphalt repairs | 294 | sf | 8.00 | 2,352 | |
| 17 | | | | | | \$ 36,072 |
| 18 | | | | | | |
| 19 | SITE FURNISHINGS | | | | | |
| 20 | Site Furnishings | | | | | |
| 21 | Bench, redwood or equal | 6 | lf | 200.00 | 1,200 | |
| 22 | | | | | | |
| 23 | | | | | | \$ 1,200 |
| 24 | | | | | | |
| 25 | PLANTING AND SOIL PREPARATION | | | | | |
| 26 | | | | | | |
| 27 | Landscape | | | | | |
| 28 | Soil testing | 1 | ls | 700.00 | 700 | |
| 29 | Till 12" / amendments | 9,150 | sf | 0.65 | 5,948 | |
| 30 | Mulch | 9,150 | sf | 2.00 | 18,300 | |
| 31 | Shrubs: | | | | | |
| 32 | 15 Gal | 120 | ea | 175.00 | 21,000 | |
| 33 | 5 Gal | 300 | ea | 90.00 | 27,000 | |
| 34 | 1 Gal | 700 | ea | 55.00 | 38,500 | |
| 35 | Trees: | | | | | |
| 36 | Protect (e) | 4 | ea | 100.00 | 400 | |

| Line # | Description | Quantity | Unit | rate | Est. cost | Comments / Subtotal. |
|--------|---------------------------------------|----------|------|---------|----------------|----------------------|
| 37 | Ground cover | None | | | | |
| 38 | Landscape maintenance (90 days) | 1 | ls | 5000.00 | 5,000 | |
| 39 | | | | | | \$ 116,848 |
| 40 | | | | | | |
| 41 | IRRIGATION SYSTEM | | | | | |
| 42 | | | | | | |
| 43 | Complete irrigation system | | | | | |
| 44 | POC | | | | | NIC Existing |
| 45 | Controller, program (e) | | | | | NIC Existing |
| 46 | Lateral | 82 | lf | 45.00 | 3,690 | |
| 47 | Pipe-Wire trace | 82 | lf | 1.50 | 123 | |
| 48 | Rotor sprinkler | 2 | ea | 360.00 | 720 | |
| 49 | Test | 1 | ls | 500.00 | 500 | |
| 50 | | | | | | \$ 5,033 |
| 51 | | | | | | |
| 52 | <u>SUBTOTAL BEFORE MARK UP</u> | | | | 184,069 | |

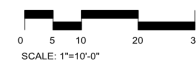
PLANT SCHEDULE

| PLANTING - 6,436 SF | | |
|---------------------|-----------|-----|
| | SIZE | QTY |
| | 1 GALLON | 500 |
| | 5 GALLON | 200 |
| | 10 GALLON | 80 |

NOTE:
PLANTING QUANTITIES ARE APPROXIMATE
AND SUBJECT TO CHANGE.

PLANTING NOTES

- REFER TO SPECIFICATIONS FOR SOIL PREPARATION, PLANTING, AND MAINTENANCE PERIOD REQUIREMENTS.
- CONTRACTOR TO REFER TO PLANT LIST FOR PLANT SIZE AND SPACING. USE TRIANGULAR SPACING UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTORS' CONSIDERATION ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES SHOWN IN PLANTING PLAN.
- CONTRACTOR TO SUBMIT PLANT SAMPLES FOR APPROVAL BY LANDSCAPE ARCHITECT. SEE SPECS.
- LANDSCAPE ARCHITECT TO PREPARE PLANTING LAYOUT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE 1" x 1" MESH OF ALL PLANT BEDS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES, STRUCTURES, AND IRRIGATION LINES BEFORE SIDING.
- GROUNDCOVERS ARE TO EXTEND UNDER TREES AND SHRUB PLANTINGS FOR FULL COVERAGE. SPACE GROUNDCOVER 18" AWAY FROM TREES AND 12" AWAY FROM SHRUBS.
- SEE GRADING PLAN FOR FINISH GRADES. ALL FINISH GRADES REFER TO FINISH GRADE OF MALIBU HILLS. SEE SPECS.
- ALL PLANTING AREAS, PLANTERS, AND POTS TO RECEIVE 2" OF MULCH. SEE SPECS.



325 Miller Avenue, Mill Valley, CA 94941
T 415 585 7900 rhaa.com

PROJECT/CLIENT NAME
COASTSIDE FIRE PROTECTION DISTRICT FIRE STATION #41

OBISPO ROAD, EL GRANADA, CA, 94018

PROJECT NUMBER
22103A

CONSULTANT

SUBMITTAL

SCHEMATIC DESIGN

DATE
3RD NOVEMBER 2022

REVISIONS

| No. | Date | Description |
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REGISTRATION AND SIGNATURE



SHEET TITLE
LANDSCAPE PLAN OPTION 1

DRAWN BY: MY CHECKED BY: KM

L-100

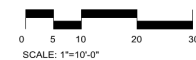
PLANT SCHEDULE

| PLANTING - 9,156 SF | | |
|---------------------|-----|--|
| SIZE | QTY | |
| 1 GALLON | 700 | |
| 5 GALLON | 300 | |
| 10 GALLON | 100 | |

NOTE:
PLANTING QUANTITIES ARE APPROXIMATE
AND SUBJECT TO CHANGE.

PLANTING NOTES

1. REFER TO SPECIFICATIONS FOR SOIL, PERMANENT PLANTING, AND MAINTENANCE PERIOD REQUIREMENTS.
2. CONTRACTOR TO REFER TO PLANT LIST FOR PLANT SIZE AND SPACING. USE TRIANGULAR SPACING UNLESS OTHERWISE NOTED.
3. PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES SHOWN IN PLANTING PLAN.
4. CONTRACTOR TO SUBMIT PLANT SAMPLES FOR APPROVAL BY LANDSCAPE ARCHITECT. SEE SPECS.
5. LANDSCAPE ARCHITECT TO INSPECT PLANTING LAYOUT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE 12" X 12" MOCKUP OF ALL PLANTINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
6. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES, STRUCTURES, AND IRRIGATION LINES BEFORE DIGGING.
7. GROUNDWORKERS ARE TO EXISTING UNDER TREES AND OTHER PLANTINGS FOR FULL COVERAGE. SPACES AROUND COVER UP ANY FROM TREES AND 12" FROM OTHER PLANTS.
8. SEE GRADING PLAN FOR FINISH GRADES. ALL FINISH GRADES REFER TO FINISH GRADE OF SELECTED LANDSCAPE.
9. ALL PLANTING AREAS, PLANTERS, AND POTS TO RECEIVE 2" OF MULCH SEE SPECS.



225 Miller Avenue, Mill Valley, CA 94941
T 415 985 7900
rhaa.com

PROJECT/CLIENT NAME
**COASTSIDE FIRE PROTECTION DISTRICT
FIRE STATION #41**

OBISPO ROAD, EL GRANADA, CA 94018

PROJECT NUMBER
22103A

CONSULTANT

SUBMITTAL

SCHEMATIC DESIGN

DATE
3RD NOVEMBER 2022

REVISIONS

| No. | Date | Description |
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REGISTRATION AND SIGNATURE



SHEET TITLE
**LANDSCAPE PLAN
OPTION 2**

DRAWN BY: MY CHECKED BY: KM

L-100



OLD REPUBLIC
TITLE COMPANY

851 Cherry Avenue, Suite 32
San Bruno, CA 94066
(650) 871-9454 Fax: (650) 871-9462

PRELIMINARY REPORT

Our Order Number 0370014205-DP

COASTSIDE FIRE PROTECTION DISTRICT
1191 Main Street
Half Moon Bay, CA 94019

Attention: KERRY L. BURKE

When Replying Please Contact:

Donna Pascual
DPascual@ortc.com
(650) 871-9454

Property Address:

APN 047-261-030, Half Moon Bay, CA
[Unincorporated area of San Mateo County]

In response to the above referenced application for a policy of title insurance, OLD REPUBLIC TITLE COMPANY, as issuing Agent of Old Republic National Title Insurance Company, hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said Policy or Policies are set forth in Exhibit I attached. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the Homeowner's Policy of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Exhibit I. Copies of the Policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit I of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated as of April 19, 2018, at 7:30 AM

OLD REPUBLIC TITLE COMPANY
For Exceptions Shown or Referred to, See Attached

Page 1 of 6 Pages

OLD REPUBLIC TITLE COMPANY
ORDER NO. 0370014205-DP

The form of policy of title insurance contemplated by this report is:

CLTA Standard Coverage Policy -1990; AND ALTA Loan Policy - 2006. A specific request should be made if another form or additional coverage is desired.

The estate or interest in the land hereinafter described or referred or covered by this Report is:

Fee

Title to said estate or interest at the date hereof is vested in:

Coastside Fire Protection District

The land referred to in this Report is situated in the unincorporated area of the County of San Mateo, State of California, and is described as follows:

Situate in El Granada (unincorporated), County of San Mateo, State of California, and being a portion of the "Property of Dante Dianda and Giovanni Patroni," as shown on that certain Subdivision Map entitled, "Tract No. 4 Granada," which was filed for record in [Book 20 of Maps, Page 22](#), on October 6, 1933, San Mateo County Records, being more particularly described as follows:

Beginning at the most Westerly corner of Lot 3, Block B, as shown on said map;

Thence along the Southeasterly line of Avenue Portola, South 28° 08' 42" West, a distance of 115.59 feet, to the beginning of a tangent curve to the left;

Thence along said curve, having a radius of 10.00 feet, through a central angle of 89° 27' 12", an arc length of 15.61 feet;

Thence along a radial line, South 28° 41' 30" West, a distance of 4.50 feet, to the curved Northeasterly right of way line of Obispo Road, said course being radial to said curved right of way;

Thence along said right of way, being a curve to the right, having a radius of 5,629.65 feet, through a central angle of 5° 29' 33", an arc length of 539.67 feet, to a point of non-tangency, a radial line to said point bears North 34° 11' 03" East;

Thence South 58° 12' 50" East, a distance of 385.64 feet, to the point of beginning of a non-tangent curve to the left, a radial line to said point bears South 32° 08' 40" West;

Thence along said curve, having a radius of 50.50 feet, through a central angle of 121° 03' 39", an arc length of 106.70 feet, to a point of cusp, a radial line to said point bears South 88° 54' 59" East;

Thence along a curve to the left, from which point a radial line bears South 38° 26' 19" West, having a radius of 5,739.65 feet, through a central angle of 1° 26' 19", an arc length of 144.11 feet, to a point of reverse curvature;

Thence along said reverse curve, having a radius of 430.00 feet, through a central angle of 16° 55' 53", an arc length of 127.07 feet, to a point of cusp, a radial line to said point bears South 53° 55' 53" West, being a point on the Northeasterly line of Dianda and Patroni as shown on said Map;

OLD REPUBLIC TITLE COMPANY
ORDER NO. 0370014205-DP

Thence along a curve to the left, from which point a radial line bears South 35° 45' 15" West, having a radius of 5,759.65 feet, through a central angle of 7° 10' 23", an arc length of 721.07 feet, to the point of beginning.

Being the same property described in that certain Revised Certificate of Compliance recorded August 19, 2015 in Official Records, under Recorder's Series Number [2015-087529](#), San Mateo County, California.

APN: 047-261-030

At the date hereof exceptions to coverage in addition to the Exceptions and Exclusions in said policy form would be as follows:

1. Taxes and assessments, general and special, for the fiscal year 2018 - 2019, a lien, but not yet due or payable.

2. Taxes and assessments, general and special, for the fiscal year 2017 - 2018, as follows:

| | | | |
|----------------------|---|---------------|-----------------|
| Assessor's Parcel No | : | 047-261-030-2 | |
| Code No. | : | 87-084 | |
| 1st Installment | : | \$0.00 | NOT Marked Paid |
| 2nd Installment | : | \$0.00 | NOT Marked Paid |
| Land Value | : | \$0.00 | |

3. Taxes and assessments, general and special, are currently not assessed because of a statutory exemption. Should the statutory exemption change, taxes may be levied against the land.

4. The lien of supplemental taxes, if any, assessed pursuant to the provisions of Section 75, et seq., of the Revenue and Taxation Code of the State of California.

5. Bonds or assessments, whether or not shown as existing liens by the records of any authority that levies assessments on real property, or by the public records, or included in the taxes shown or referred to herein.

NOTE: An examination of these matters is not being done at this time. Upon a specific request to do so, we will supplement this report accordingly.

OLD REPUBLIC TITLE COMPANY
ORDER NO. 0370014205-DP

6. An encroachment of existing structures or improvements situated on the land adjoining on the Northern portion onto said land, as disclosed by that certain map entitled "Record of Survey of a Portion of the San Mateo County Harbor District Property recorded in Book 1472 at Page 142 (56155-H) being a part of the Palomares Rancho and Situated in El Granada San Mateo County, California", filed in the office of the County Recorder of San Mateo County, California, on November 14, 1975 in [Volume 8 of Record of Surveys, Page 29](#).

The affirmative coverage set forth in the Covered Risks is not provided by the policy.

7. Terms and conditions of the unrecorded contracts by and between the San Mateo County Harbor District, a political subdivision of the State of California and the Department of Boating and Waterways, a public agency of the State of California disclosed by that certain Assignment of Rents and Leases filed for record June 13, 2005, Instrument No. [2005-096841](#), San Mateo County Records.

Affects this and other property.

In connection therewith we note that certain Partial Release of Lien, executed by State of California, Department of Parks and Recreation, Division of Boating and Waterways recorded [March 12, 2015 in Official Records under Recorder's Serial Number 2015-023174](#).

8. Terms and provisions as contained in an instrument,

Entitled : Revised Certificate of Compliance
Executed By : County of San Mateo
Recorded : [September 19, 2015 in Official Records under Recorder's Serial Number 201587529](#)

9. Any easements or lesser rights which may be claimed as to a portion of said land by the owners or users, including any rights incidental thereto which may be ascertained by making inquiry of such owners or users,

Of : pole lines and wires
Affects : a portion of the Northeasterly, Southeasterly and Southwesterly boundaries
As Disclosed By : off record information

10. Any unrecorded and subsisting leases.

11. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
12. The requirement that satisfactory evidence be furnished to this Company of compliance with applicable statutes, ordinances and charters governing the ownership and disposition of the herein described land.
13. The requirement that this Company be provided with a suitable Owner's Declaration (form ORT 174). The Company reserves the right to make additional exceptions and/or requirements upon review of the Owner's Declaration.
14. The requirement that this Company be provided with an opportunity to inspect the land (the Company reserves the right to make additional exceptions and/or requirements upon completion of its inspection).

----- **Informational Notes** -----

- A. The applicable rate(s) for the policy(s) being offered by this report or commitment appears to be section(s) 1.1 and 2.1.
- B. The above numbered report (including any supplements or amendments thereto) is hereby modified and/or supplemented to reflect the following additional items relating to the issuance of an American Land Title Association loan form policy:

NONE

NOTE: Our investigation has been completed and said land is unimproved. Said vacant land is known as: APN 047-261-030, Obispo Road, Half Moon Bay, CA

The ALTA loan policy, when issued, will contain the CLTA Modified 100 (TIM-52) and Modified 116 (TIM-58) endorsements. The referenced modifications to both endorsements delete only non-applicable coverage relating to improvements located upon said land.

Unless shown elsewhere in the body of this report, there appears of record no transfers or agreements to transfer the land described herein within the last three years prior to the date hereof, except as follows:

NONE

OLD REPUBLIC TITLE COMPANY
ORDER NO. 0370014205-DP

C. NOTE: The last recorded transfer or agreement to transfer the land described herein is as follows:

Instrument
Entitled : Grant Deed
By/From : San Mateo County Harbor District, a Political Subdivision of The State of California
To : Coastside Fire Protection District
Recorded : [February 27, 2015 in Official Records under Recorder's Serial Number 2015-017716](#)

O.N.
CC/cc

**CALIFORNIA LAND TITLE ASSOCIATION
STANDARD COVERAGE POLICY - 1990
EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.-

(b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;.
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate of interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments Which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.

Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests, or claims Which are not shown by the public records but which could be ascertained by an inspection of the land which may be asserted by persons in possession thereof,
3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

**AMERICAN LAND TITLE ASSOCIATION
LOAN POLICY OF TITLE INSURANCE - 2006
EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations.This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

EXCEPTIONS FROM COVERAGE – SCHEDULE B, PART 1, SECTION ONE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.

FACTS
WHAT DOES OLD REPUBLIC TITLE DO WITH YOUR PERSONAL INFORMATION?

| | |
|--------------|---|
| Why? | Financial companies choose how they share your personal information. Federal law gives consumers the right to limit some but not all sharing. Federal law also requires us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand what we do. |
| What? | <p>The types of personal information we collect and share depend on the product or service you have with us. This information can include:</p> <ul style="list-style-type: none"> • Social Security number and employment information • Mortgage rates and payments and account balances • Checking account information and wire transfer instructions <p>When you are <i>no longer</i> our customer, we continue to share your information as described in this notice.</p> |
| How? | All financial companies need to share customers' personal information to run their everyday business. In the section below, we list the reasons financial companies can share their customers' personal information; the reasons Old Republic Title chooses to share; and whether you can limit this sharing. |

| Reasons we can share your personal information | Does Old Republic Title share? | Can you limit this sharing? |
|--|--------------------------------|-----------------------------|
| For our everyday business purposes — such as to process your transactions, maintain your account(s), or respond to court orders and legal investigations, or report to credit bureaus | Yes | No |
| For our marketing purposes — to offer our products and services to you | No | We don't share |
| For joint marketing with other financial companies | No | We don't share |
| For our affiliates' everyday business purposes — information about your transactions and experiences | Yes | No |
| For our affiliates' everyday business purposes — information about your creditworthiness | No | We don't share |
| For our affiliates to market to you | No | We don't share |
| For non-affiliates to market to you | No | We don't share |

Questions

 Go to www.oldrepublictitle.com (Contact Us)

| Who we are | |
|-------------------------------|--|
| Who is providing this notice? | Companies with an Old Republic Title name and other affiliates. Please see below for a list of affiliates. |

| What we do | |
|---|---|
| How does Old Republic Title protect my personal information? | To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer safeguards and secured files and buildings. For more information, visit http://www.OldRepublicTitle.com/newnational/Contact/privacy . |
| How does Old Republic Title collect my personal information? | <p>We collect your personal information, for example, when you:</p> <ul style="list-style-type: none"> • Give us your contact information or show your driver's license • Show your government-issued ID or provide your mortgage information • Make a wire transfer <p>We also collect your personal information from others, such as credit bureaus, affiliates, or other companies.</p> |
| Why can't I limit all sharing? | <p>Federal law gives you the right to limit only:</p> <ul style="list-style-type: none"> • Sharing for affiliates' everyday business purposes - information about your creditworthiness • Affiliates from using your information to market to you • Sharing for non-affiliates to market to you <p>State laws and individual companies may give you additional rights to limit sharing. See the "Other important information" section below for your rights under state law.</p> |

| Definitions | |
|------------------------|--|
| Affiliates | <p>Companies related by common ownership or control. They can be financial and nonfinancial companies.</p> <ul style="list-style-type: none"> • <i>Our affiliates include companies with an Old Republic Title name, and financial companies such as Attorneys' Title Fund Services, LLC, Lex Terrae National Title Services, Inc., Mississippi Valley Title Services Company, and The Title Company of North Carolina.</i> |
| Non-affiliates | <p>Companies not related by common ownership or control. They can be financial and non-financial companies.</p> <ul style="list-style-type: none"> • <i>Old Republic Title does not share with non-affiliates so they can market to you</i> |
| Joint marketing | <p>A formal agreement between non-affiliated financial companies that together market financial products or services to you.</p> <ul style="list-style-type: none"> • <i>Old Republic Title doesn't jointly market.</i> |

Other Important Information

Oregon residents only: We are providing you this notice under state law. We may share your personal information (described on page one) obtained from you or others with non-affiliate service providers with whom we contract, such as notaries and delivery services, in order to process your transactions. You may see what personal information we have collected about you in connection with your transaction (other than personal information related to a claim or legal proceeding). To see your information, please click on "Contact Us" at www.oldrepublictitle.com and submit your written request to the Legal Department. You may see and copy the information at our office or ask us to mail you a copy for a reasonable fee. If you think any information is wrong, you may submit a written request online to correct or delete it. We will let you know what actions we take. If you do not agree with our actions, you may send us a statement.

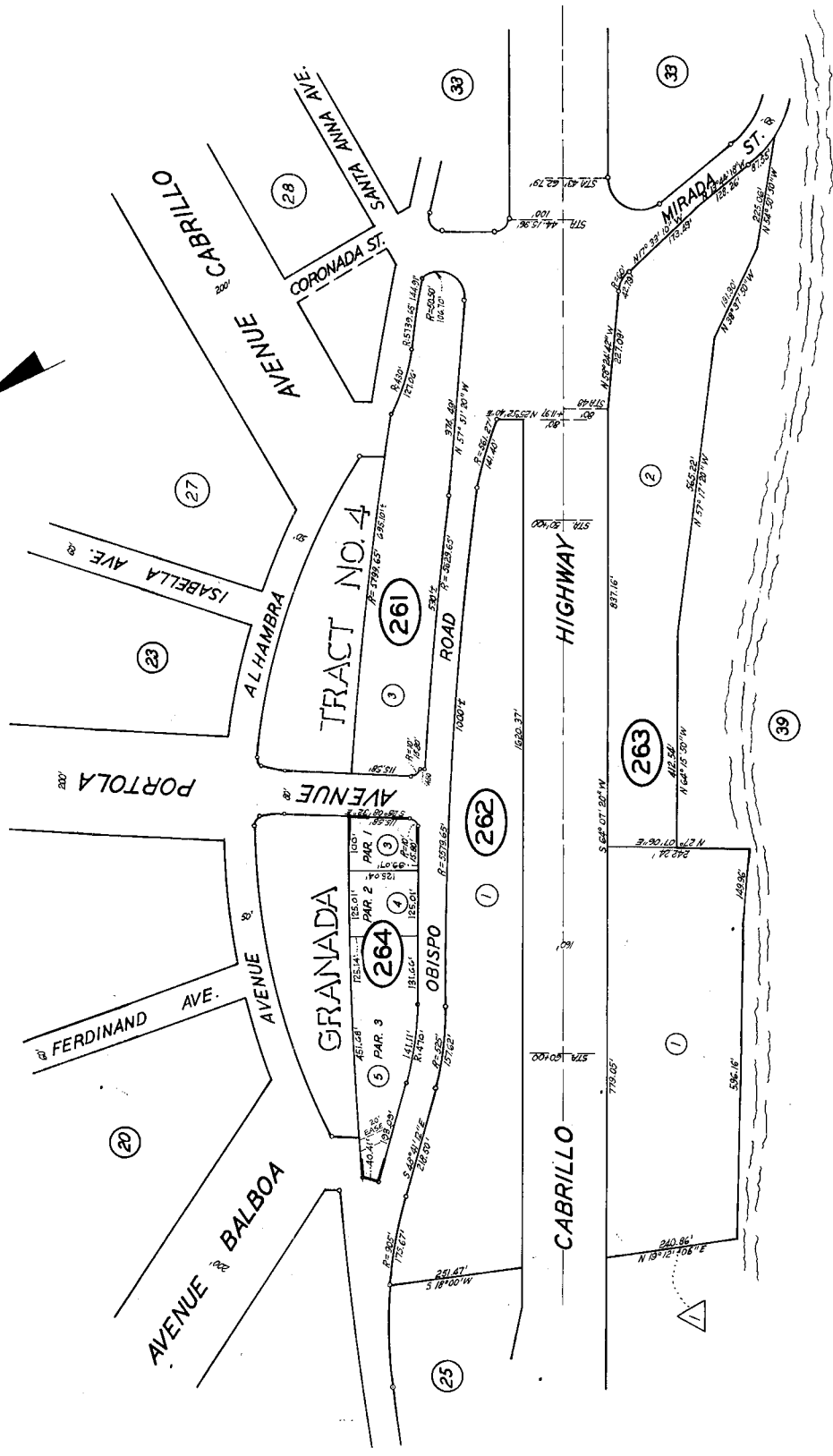
Affiliates Who May be Delivering This Notice

| | | | | |
|--|---|---|---|---|
| American First Abstract, LLC | American First Title & Trust Company | American Guaranty Title Insurance Company | Attorneys' Title Fund Services, LLC | Compass Abstract, Inc. |
| eRecording Partners Network, LLC | Genesis Abstract, LLC | Kansas City Management Group, LLC | L.T. Service Corp. | Lenders Inspection Company |
| Lex Terrae National Title Services, Inc. | Lex Terrae, Ltd. | Mara Escrow Company | Mississippi Valley Title Services Company | National Title Agent's Services Company |
| Old Republic Branch Information Services, Inc. | Old Republic Diversified Services, Inc. | Old Republic Exchange Company | Old Republic National Title Insurance Company | Old Republic Title and Escrow of Hawaii, Ltd. |
| Old Republic Title Co. | Old Republic Title Company of Conroe | Old Republic Title Company of Indiana | Old Republic Title Company of Nevada | Old Republic Title Company of Oklahoma |
| Old Republic Title Company of Oregon | Old Republic Title Company of St. Louis | Old Republic Title Company of Tennessee | Old Republic Title Information Concepts | Old Republic Title Insurance Agency, Inc. |
| Old Republic Title, Ltd. | Republic Abstract & Settlement, LLC | Sentry Abstract Company | The Title Company of North Carolina | Title Services, LLC |
| Trident Land Transfer Company, LLC | | | | |

47-26



TAX CODE AREA



PACIFIC OCEAN

- △ PARCEL MAP VOL 46/20
- △ LLS VOL. 7 - 104/105

ASSESSOR'S MAPS COUNTY OF SAN MATEO, CALIF.

OWNER'S STATEMENT

I HEREBY STATE THAT I AM THE OWNER OR HAVE SOME RIGHT, TITLE, OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THIS MAP, AND I AM THE ONLY PERSON WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID REAL PROPERTY, AND THAT I HEREBY CONSENT TO THE MAKING AND FILING OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

OWNER: 9/5/2018
 COASTSIDE FIRE PROTECTION DISTRICT DATE
 BY: Ian Larkin FC Ian Larkin
 SIGNATURE Fire Chief PRINT NAME Fire Chief

OWNER'S ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

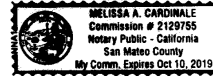
STATE OF CALIFORNIA
 COUNTY OF San Mateo
 ON September 13, 2018, BEFORE ME, Melissa A. Cardinale, a Notary Public

PERSONALLY APPEARED Ian Larkin
 WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT ~~HE/SHE~~ THEY EXECUTED THE SAME IN ~~HIS/HER~~ THEIR AUTHORIZED CAPACITY(IES) AND THAT BY ~~HIS/HER~~ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL

SIGNATURE: Melissa A. Cardinale
 PRINCIPAL COUNTY OF BUSINESS: San Mateo
 COMMISSION EXPIRES: October 10, 2019
 COMMISSION # OF NOTARY: 2129755



COUNTY SURVEYOR'S STATEMENT

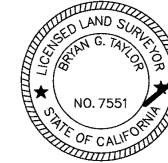
I HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND HAVE FOUND THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL THE PROVISIONS OF THE CALIFORNIA SUBDIVISION MAP ACT AND THE SAN MATEO COUNTY ORDINANCE APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

December 26, 2018
 DATE
D. Ian Wilson
 D. IAN WILSON
 COUNTY SURVEYOR
 L.S. #7010

SURVEYOR'S STATEMENT

THIS PARCEL MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES AT THE REQUEST OF COASTSIDE FIRE DISTRICT IN SEPTEMBER, 2018. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, AND THAT ALL THE MONUMENTS SHOWN HEREON ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

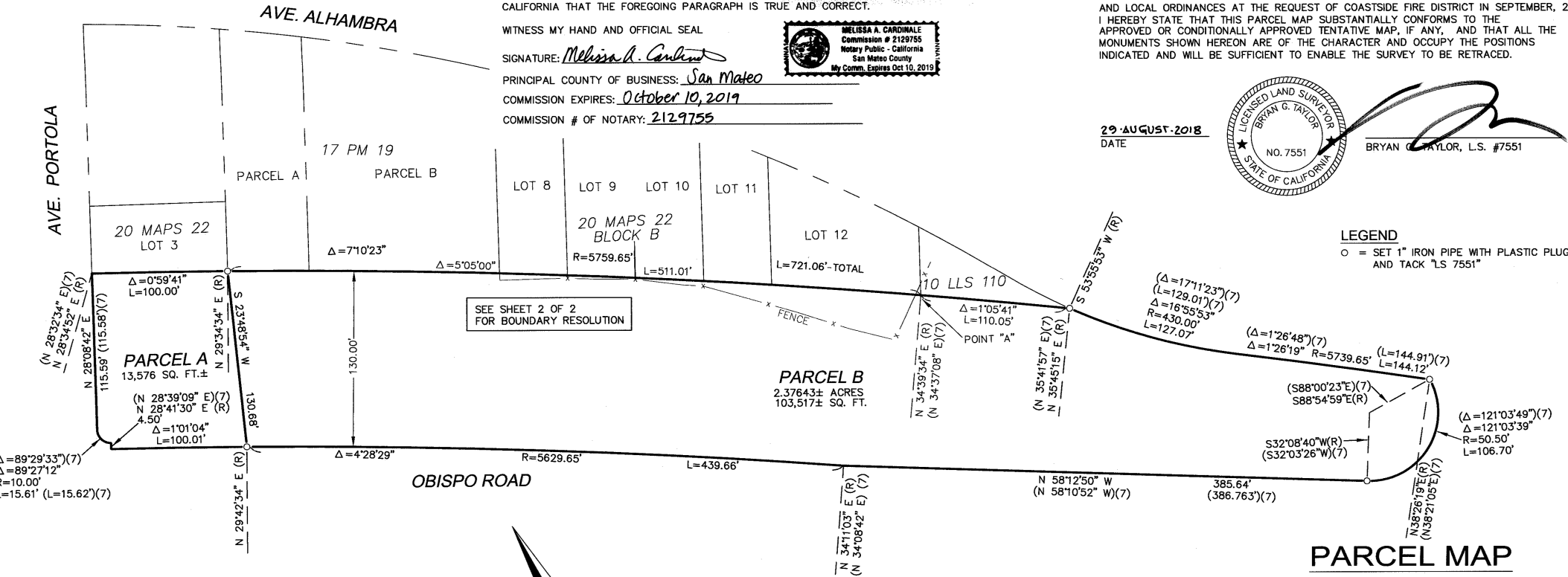
29 AUGUST 2018
 DATE



Bryan G. Taylor
 BRYAN G. TAYLOR, L.S. #7551

LEGEND

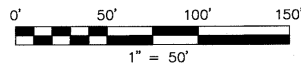
○ = SET 1" IRON PIPE WITH PLASTIC PLUG AND TACK "LS 7551"



CLERK OF THE BOARD STATEMENT

I HEREBY STATE THAT THE BOARD OF SUPERVISORS OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT CERTIFICATES HAVE BEEN FILED AND DEPOSITS HAVE BEEN MADE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTIONS 66492 AND 66493 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA

Del Olsen
 DATED: 8/30/19
 CLERK OF THE BOARD OF SUPERVISORS
 SAN MATEO COUNTY, STATE OF CALIFORNIA
 BY: Esther
 DEPUTY



COUNTY RECORDER'S STATEMENT

FILED THIS 24th DAY OF May, 2018, AT 9:38 A. M.
 IN VOLUME 84 OF PARCEL MAPS, AT PAGE(S) 72-73, AT THE REQUEST OF BRYAN G. TAYLOR.

FILE NO. 2018-900081
 FEE NO FEE

MARK CHURCH, SAN MATEO COUNTY RECORDER

BY: [Signature]
 DEPUTY

PARCEL MAP NO. 1142

BEING A SUBDIVISION OF THE LANDS OF COASTSIDE FIRE PROTECTION DISTRICT

PER THE CERTIFICATE OF COMPLIANCE RECORDED AS DOCUMENT #2015-087529

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 50' AUGUST, 2018



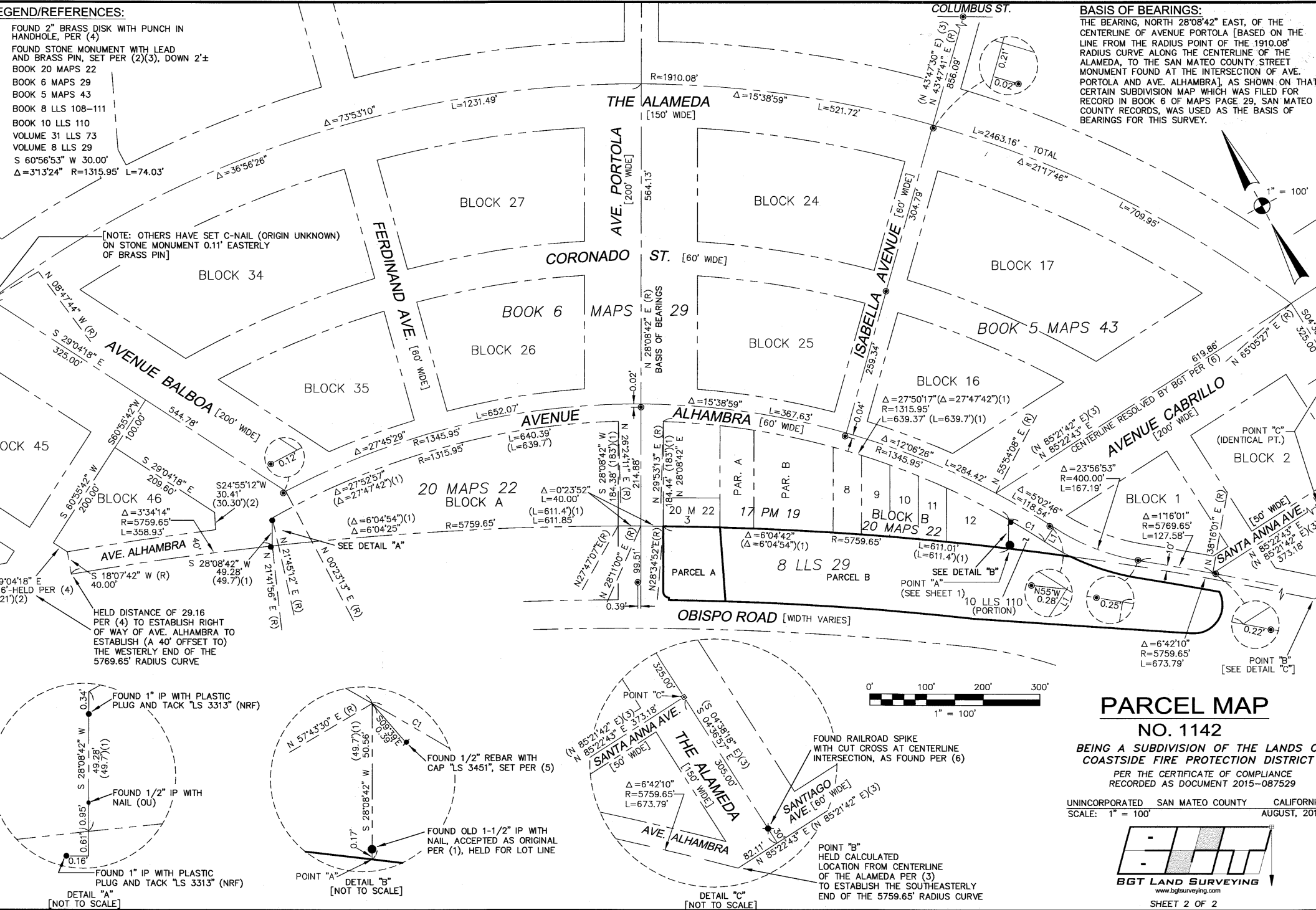
SHEET 1 OF 2

LEGEND/REFERENCES:

- FOUND 2" BRASS DISK WITH PUNCH IN HANDHOLE, PER (4)
- FOUND STONE MONUMENT WITH LEAD AND BRASS PIN, SET PER (2)(3), DOWN 2'±
- BOOK 20 MAPS 22
- BOOK 6 MAPS 29
- BOOK 5 MAPS 43
- BOOK 8 LLS 108-111
- BOOK 10 LLS 110
- VOLUME 31 LLS 73
- VOLUME 8 LLS 29
- S 60°56'53" W 30.00'
- Δ=3°13'24" R=1315.95' L=74.03'

[NOTE: OTHERS HAVE SET C-NAIL (ORIGIN UNKNOWN) ON STONE MONUMENT 0.11' EASTERLY OF BRASS PIN]

BASIS OF BEARINGS:
 THE BEARING, NORTH 28°08'42" EAST, OF THE CENTERLINE OF AVENUE PORTOLA [BASED ON THE LINE FROM THE RADIUS POINT OF THE 1910.08' RADIUS CURVE ALONG THE CENTERLINE OF THE ALAMEDA, TO THE SAN MATEO COUNTY STREET MONUMENT FOUND AT THE INTERSECTION OF AVE. PORTOLA AND AVE. ALHAMBRA], AS SHOWN ON THAT CERTAIN SUBDIVISION MAP WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 29, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.



PARCEL MAP
NO. 1142
 BEING A SUBDIVISION OF THE LANDS OF
 COASTSIDE FIRE PROTECTION DISTRICT
 PER THE CERTIFICATE OF COMPLETION
 RECORDED AS DOCUMENT 2015-087529
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 100' AUGUST, 2015

BGT LAND SURVEYING
 www.bgtlandsurveying.com
 SHEET 2 OF 2